



## CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Taylor Pardue, agent for Paul Markunas, owner, proposes to change windows, raise parapets, construct portals, door replacement, install a patio and yard walls and make other minor repairs on a contributing structure. An exception is requested to construct on a primary facade (14-5.2(D)(2)(c)).

Case number: **2020-002809-HDRB**  
Project Type: HDRB

**PROJECT LOCATION (S):** 601 San Antonio Street

OW – Paul Markunas PO Box 3111, Seattle, WA 98103 [pjm357@gmail.com](mailto:pjm357@gmail.com)

AP -- Taylor Pardue 905 Nicole Place, Santa Fe, NM 87505 [taylor@commoblockstudio.com](mailto:taylor@commoblockstudio.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area ☐ Downtown and Eastside ☒ Historic Review ☐ Transition ☐ Westside-Guadalupe ☐

#### HISTORIC BUILDING STATUS

Non-Statused ☐ Non-Contributing ☐ Contributing ☒ Significant ☐ Landmark ☐ N/A ☐

#### PRIMARY ELEVATIONS:

North ☐ South ☐ West ☒ East ☐ N/A ☐

PUBLICLY VISIBLE FACADE-EAST Yes ☐ No ☒

PUBLICLY VISIBLE FACADE-NORTH Yes ☐ No ☒

PUBLICLY VISIBLE FACADE-SOUTH Yes ☐ No ☒

PUBLICLY VISIBLE FACADE-WEST Yes ☐ No ☒

HISTORIC DISTRICT INVENTORY NUMBER

1992

YEAR OF CONSTRUCTION

1959

#### PROJECT TYPE

Status ☐ Primary Elevations ☐ Remodel ☒ Demolition ☐ New ☐ Other \_\_\_\_\_

USE, EXISTING Residential ☒ Non-Residential ☐ Vacant ☐

USE, PROPOSED Residential ☒ Non-Residential ☐

HISTORIC BUILDING NAME \_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

DATE: December 8, 2020  
TO: Historic Districts Review Board Members  
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

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Case # 2020-002809-HDRB

Address: 601 San Antonio Street  
Historic Status: Contributing  
Historic District: Downtown and Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

☐ District Standards & yard wall  
& fence standards.

☒ Historic Inventory Form

☒ Zoning Review Sheet

☐ Other:

### APPLICANT SUBMITTALS

☒ Proposal Letter

☒ Site Plan/Floor Plan

☒ Elevations

☒ Photographs

☒ Other: window assessment

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Design Standards. Staff recommends that the exception criteria for Section 14-5.2(D)(2)(c) have been met.

## BACKGROUND & SUMMARY:

601 San Antonio Street is a single-family residential structure with contributing status to the Downtown and Eastside Historic District. The west façade has been designated primary by the HDRB.

It is built in a Territorial Style. It has a rectangular form, deep inset windows with concrete sills, exposed viga ends and canales, a flat roof with parapet and brick coping. On the west and east

facades are non-historic doors with no form of protective roofing. Most of the windows are historic. Details as to their condition are provided in the assessment attached to this packet.

Now, the applicant proposes the following exterior alterations:

1. Construct two small portales on the west and east elevations to protect the entry doors. These will have Territorial detailing including wooden square posts with a dark brown wood stain and brick coping. The portales will be constructed on a slabs with a masonry finish.

To construct the portal on the west façade, the applicant requests an exception to Section 14-5.2(D)(2)(c) to construct on a primary facade.

2. Widen the 30-inch door to a 36-inch door opening on the east façade.
3. Repair the historic windows on all the façades and add storm windows. This does not require an exception, as the windows on the primary façade will not be replaced, but restored. Window jambs will be added that enable seasonal removal of screens and storm windows. New screen doors will replace the two existing ones, which are non-historic.
4. Raise the parapet height one foot to a maximum of 12 feet 6 inches above finished grade. The maximum allowable height is 14 feet 10 inches. The existing brick coping will be repaired. Repair roof and beams, possibly raise the roof and beams about 8 inches should it be structurally necessary to install a bond-beam.
5. Remove a concrete basement-access stairwell located to the south of the structure and construct a freestanding shade structure in that location. This will be 12 by 10 feet, constructed to a height of about 10 feet and will be constructed of square wood posts with a dark brown natural wood stain and wood vigas and a parapet with brick coping and stucco to match the house.
6. Construct stucco yard walls to the maximum allowable height of 6 feet on the east, west and south with a wooden gate on the west side and a coyote fence on the east with a color to match the house, close to El Rey “Colonial White”.

### **EXCEPTION CRITERIA AND RESPONSES:**

Exception to Section 14-5.2(D)(2)(c) to construct on a primary façade.

(i) *Do not damage the character of the district*

Applicant Response: The proposal for two small territorial revival portals on the East and West facades is in keeping with the architectural context of the building and neighborhood.

Staff Response: Staff agrees with this response.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: There is no exterior protection at either entry for the homeowners when entering and exiting the house.

Staff Response: Staff agrees with this evaluation. Portals will help to protect the building and provide weather shading for its inhabitants.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The scale of the proposed portals helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.

Staff Response: In the view of staff there are no other alternatives to protecting the entry way other than a covering such as a portal. Thus all design options have been considered. Staff agrees with the applicant's response.

## **RELEVANT CODE CITATIONS:**

### **14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts**

#### **(1) Purpose and Intent**

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

### **14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

### **14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

### **Removal of Historic Material/Demolition:**

#### 14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

#### Additions

- (2)(c) Additions are not permitted to primary façades.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and


(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

## NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992

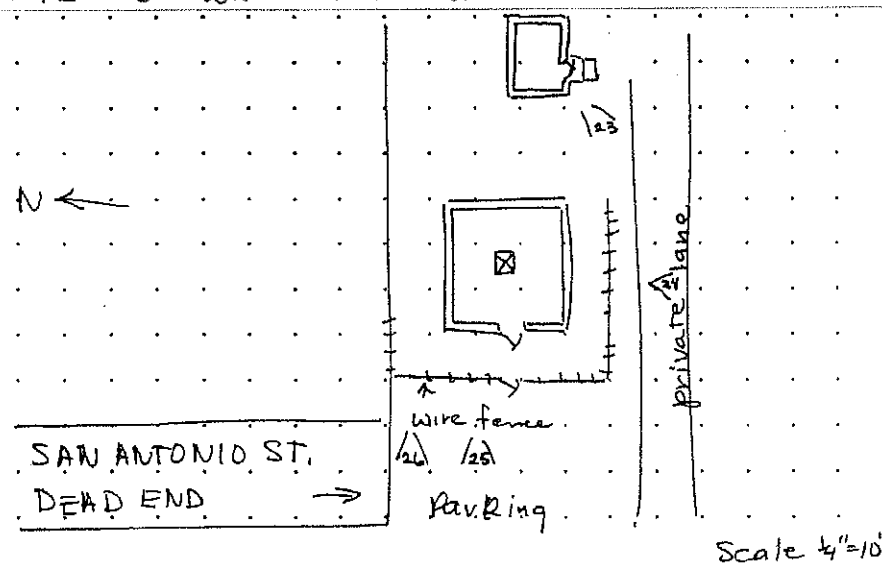
H3222

IDENTIFICATION	ADDRESS: 601 SAN ANTONIO STREET J. ALIRE		ID NUMBER: 051600026
	UTM REFERENCE EASTING NORTHING ZONE 12 13		BUILDING NAME:
	LEGAL DESCRIPTION: TNSP <u>17</u> <u>N</u> S RANGE <u>9</u> <u>E</u> W SEC <u>25</u> NE 1/4 SE 1/4		
BUILDING DATA	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85		
	DATE OF CONSTRUCTION: ____ ESTIMATE <u>1959</u> ACTUAL		
	SOURCE(S) CITY DIRECTORY		
	ARCHITECTURAL STYLE: TERRITORIAL REVIVAL		
	USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____		
	SURROUNDINGS: RESIDENTIAL		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <u>X</u> SIMILAR _____ NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <u>X</u> YES _____ NO		
	WHAT TYPE? LARGE STORAGE BLD. IF INVENTORIED, LIST ID NUMBER(S)		
	DEGREE OF REMODELING: <u>X</u> MINOR _____ MODERATE ____ MAJOR		
SIGNIFICANCE	EXPLAIN: NONE VISIBLE		<p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? ____ YES <u>X</u> NO _____ ELIGIBLE ____ CONTRIBUTING _____ NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? ____ YES <u>X</u> NO _____ ELIGIBLE</p> <p>LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT ____ SIGNIFICANT _____ CONTRIBUTING <u>X</u> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK _____ YES <u>X</u> NO</p>
	OVERALL CONDITION: ____ EXCELLENT _____ GOOD <u>X</u> FAIR _____ DETERIORATED		
	BUILDING THREATENED? ____ YES <u>X</u> NO		

PHOTO

#12-25 WEST ELEVATION

SITE PLAN



SURVEYED 6/9/92 BY AC

NEGATIVES WITH NMHPD ROLL # AC 12 NEG # 23 TO 26

ARCHITECTURAL AND LANDSCAPE FEATURES

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	BEIGE STUCCO	BLD IN FAIR CONDITION
FOUNDATIONS	NOT VISIBLE	
DOORS	NOT VISIBLE	
WINDOWS	MULTI PANE CASEMENT (NOT FULLY VISIBLE)	
PORTALES		
CANALES	VIGAS SOUTH SIDE CANALES NORTH SIDE	
PORCHES		
BALCONIES		
ROOFS	FLAT WITH PARAPETS BRICK COPING	
COURTYARDS		
FENCES/WALLS	WIRE FENCES	
ARCH. DETAILS	BRICK CHIMNEY	
OTHER		

COMMENTS THIS SIMPLE BLD. IS A TYPICAL TERRITORIAL REVIVAL  
STYLE, PROBABLY OWNER BUILT.

ADDITIONAL PHOTOGRAPHS




FIG. 14 SOUTH ELEVATION




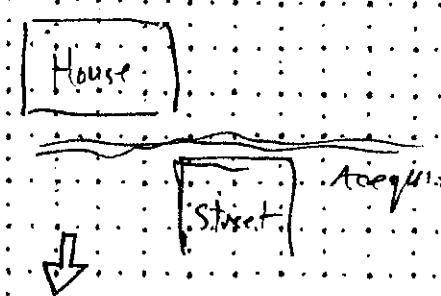
FIG. 26 WEST ELEVATION

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION	ADDRESS 601 SAN ANTONIO STREET	ID NUMBER 051600026
		SURVEYED/RESEARCHED DATE 6/9/92 BY Ac
 <p>E12-23 STORAGE SHED SW CORNER</p>		

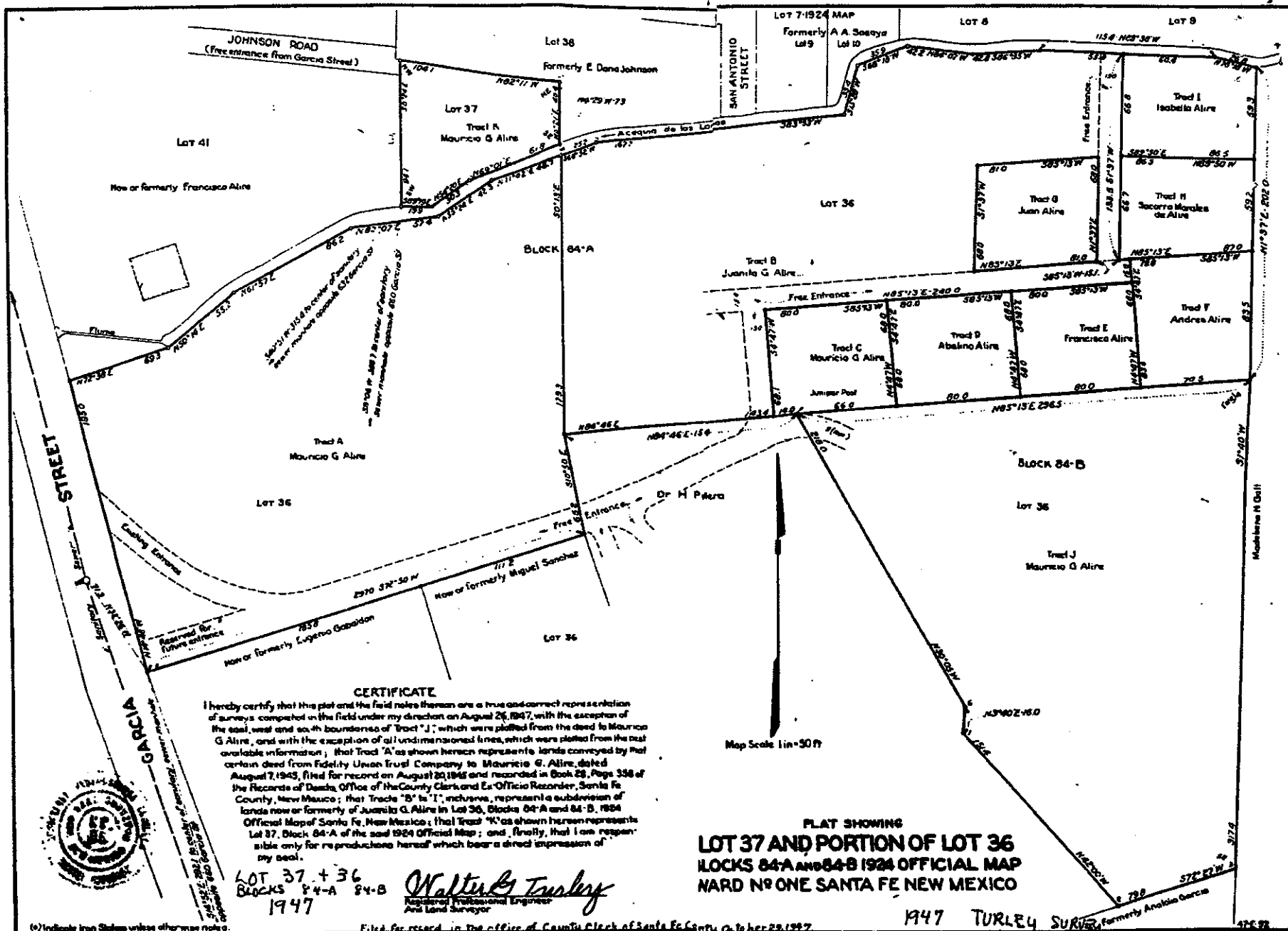
Attachment B  
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

\*

building threatened? yes	surveyed date <u>6/6/83</u> by <u>mb</u>	county <u>Santa Fe</u>	ID no. <u>0516 00026</u>
field map <u>Santa Fe, N.M.</u>	number <u>1</u>	UTM reference easting zone 12 13	northing
location description <u>601 San Antonio</u>		city/town <u>Santa Fe</u>	
		land grant/reservation	
building name <u>Aliso</u>		legal description tnsp <u>17</u> N range <u>9</u> E sec <u>25</u> NE $\frac{1}{4}$ NE $\frac{1}{4}$	
film roll by <u>mb</u> no. <u>2</u>	negative nos. <u>22</u>	loc. of neg. <u>HPB</u>	plan shape
			
		date of construction * <u>1920</u> estimate _____ actual _____	
		source _____	
		use present <u>residential</u> other _____ historic <u>residential</u> other _____	
style <u>Territorial Revival</u>		condition _____ excellent <input checked="" type="checkbox"/> good _____ fair _____ deteriorating	
foundation material <u>Not Vis</u> wall material/surface <u>Stucco</u>		degree of remodeling <input checked="" type="checkbox"/> minor _____ moderate _____ major describe:	
architectural features <u>Decorative course capped w concrete.</u> <u>Windows 6 double hung wood. Inset lintels</u> <u>Vigas &amp; canales on N side</u> <u>Inset Concrete window sills.</u>		surroundings <u>Residential</u> relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
		district potential <input checked="" type="checkbox"/> yes _____ no	
		significance _____ eligible <input checked="" type="checkbox"/> of _____ none	
		if eligible, interest why?	
comments wall hedge wire fence wood fence landscape street trees stone curb 0 setback Acquia		associated buildings? _____ yes what type?	
if inventoried, list ID nos.		see back? _____ yes	

Streetscape

\* Shows only in 1982 directory but clearly older





# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		<b>Site Address:</b> <u>601 SAN ANTONIO</u>	
<b>Date Submitted:</b> <u>10/27/20</u>		<b>Proposed Construction Description:</b> <u>REMODEL INTERIOR - RESTORE EXTERIOR</u>	
<b>Property Owner of Record:</b> <u>PAUL MARKOWITZ</u>		<b>TOTAL ROOF AREA:</b>	
<b>Applicant/Agent Name:</b> <u>TAYLOR PAROVE</u>			
<b>Contact Person Phone Number:</b> <u>(505) 660-7468</u>			
<b>Zoning District:</b> <u>R-3 EAST SIDE HISTORIC</u>		<b>Lot Coverage:</b> <u>17%</u> <u>40% max</u> <input type="checkbox"/> Open Space Required: _____	
<b>Overlay:</b> <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		<b>Setbacks:</b> Proposed Front: <u>5'</u> Minimum: <u>5'</u> 2 <sup>nd</sup> Front? <u>5'</u> Proposed Rear: <u>0</u> Minimum: <u>0</u> Proposed Sides: L _____ R _____ Minimum: _____	
<b>Submittals Reviewed with PZR:</b> <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		<b>Height:</b> Proposed <u>18'-6"</u> Maximum Height: <u>14'-10"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
<b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit		<b>Parking Spaces:</b> <u>NO CHANGE</u> Proposed _____ Accessible _____ Minimum: _____	
<b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		<b>Bicycle Parking**:</b> Proposed: _____ Minimum: _____ ** Commercial Requirement	
<b>Use of Structure:</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____			
<b>Terrain:</b> <input type="checkbox"/> 30% slopes _____			

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

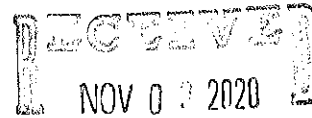
TAYLOR PAROVE [ ☐ OWNER ☐ APPLICANT ☒ AGENT ]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Taylor Parove 10/27/20  
SIGNATURE DATE

<b>To Be Completed By City Staff:</b>	
<b>Additional Agency Review if Applicable:</b>	
<input type="checkbox"/> Escarpment Approval by <u>N/A</u> Date: <u>   </u> / <u>   </u> / <u>   </u>	
<input type="checkbox"/> Flood Plain Approval by <u>N/A</u> Date: <u>   </u> / <u>   </u> / <u>   </u>	
<input type="checkbox"/> Traffic Engineering Approval by <u>N/A</u> Date: <u>   </u> / <u>   </u> / <u>   </u>	
Notes: _____	
<b>Zoning Approval:</b>	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
<b>REVIEWER:</b> <u>Noah L Berke</u>	<b>DATE:</b> <u>10/27/20</u>

10/20/20



BY: \_\_\_\_\_

Dear Board Members,

This letter is meant to serve as an outline for the proposal for design and construction alterations at 601 San Antonio St. in the Eastside Historic District of Santa Fe. The current property is a 1023 Sq. ft. residence that was originally built in 1959. It is accessed from a private drive off of Garcia St. The building exterior is white stucco. It is square shaped and measures approximately 35' x 29'. It consists of territorial style construction details, including brick coping along the entire parapet. The west elevation has been designated primary. The building is non-contributing.

We are requesting Historic Design Review Board approval for the following:

- **Exterior door entries:** We are proposing to add two small portals measuring approximately 3' x 7' to protect both entry doors. Currently, there is no protection from the natural elements over either entry door. We feel the small portals will provide much needed weather protection for the adobe walls, doors and new homeowners. Both existing exterior doors measure approximately 30" in width. We would like to honor the human scale of the existing building by replacing the existing front door with a similar door of the same size and scale. We are proposing the back door (west elevation) be enlarged to 36" wide for ease of access and movement of furnishings. Neither door heights will change.
- **Windows:** The existing windows appear original and are in need of repair and/or replacement. We are attaching a separate window assessment with our proposal to clarify the current state of the windows. Our goal is to restore most of the windows to their original state while adding window jambs that enable the seasonal removal of screens, and storm windows that will be built to match the historic context of the building. There will be no change to window opening sizes nor are there any additional window openings proposed.
- **Parapets:** The current parapet height of the house is approximately 10'-6" above finish grade. The allowable parapet height based upon the average of adjacent properties is 14'-10" above finish grade. We are requesting approval to raise the parapets to approximately 12'-6". This is less than half the allowable difference to ensure adequate roof insulation and proper drainage while maintaining a scale appropriate to the existing architecture. The existing brick coping requires repair. This will be done in concert with the re-roofing and will remain consistent with the new proposed parapet height.
- **Existing exterior basement entry:** There is currently a basement access door from the exterior of the building on the south. It is an unfinished CMU stairwell wall with concrete steps leading into a

crawlspace. We are requesting the removal of the stairs and access to the basement from the outside, and to re-landscape in its place a small garden patio with a shade structure.

- **Yard walls and gate:** Currently, the house is partially visible from a private drive. Invasive species of trees and shrubs have grown in front of the primary designated facade. We are requesting that all trees along the west side of the property be removed and replaced with a 6' height stuccoed yard wall with a front gate. The yard wall will consist of a traditional 4"-6" radius top and stuccoed pillars on either side of the gate with a territorial brick cap to match the residence. The stucco wall will continue around and within the property perimeter per set back requirements. The wall will form a privacy screen on the west, south and east sides of the property. A 6' height coyote fence is requested along the north side of the property line. New landscaping will be designed with the proposed perimeter yard walls.
- **Finishes:** There will be no change in color to the stucco finish and all windows will be rebuilt, refinished or replaced with wood windows with the same dark bronze finish as the existing windows.

In summary, our intention with the overall project is to provide the new homeowners with habitable interior and exterior living spaces that do not currently exist. We feel we are honoring the historic architecture of the project by restoring windows to their original state and providing crucial features to protect the structure from further environmental damage. We anticipate the proposed yard walls to contribute to the beauty and historic character of the Historic Eastside while providing the new homeowners privacy and ease of access to their home. We sincerely ask for your approval of the above mentioned requests.

Sincerely,

Taylor Pardue  
Owners Representative  
[taylor@commonblockstudio.com](mailto:taylor@commonblockstudio.com)

601 SAN ANTONIO

☐ EXCEPTION CRITERIA responses to the criteria below are required if you are requesting an exception.

Historic Districts and Historic Landmarks

Design Standards and Signage Exception Criteria

(i) Do not damage the character of the district

**Response: The proposal for two small territorial revival portals on the East and West facades is in keeping with the architectural context of the building and neighborhood**

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

**Response: There is no exterior protection at either entry for the homeowners when entering and exiting the house.**

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

**Response: The scale of the proposed portals helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.**

Revised 1 November 2019

Historic Districts and Historic Landmarks

Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria

(i) Do not damage the character of the streetscape

**Response: The house property is located on a private drive and will contribute to the historic character of the streetscape**

(ii) Prevent a hardship to the applicant or an injury to the public welfare

**Response: The homeowners need protection from the natural elements when entering and exiting their residence. The portals further protect the building from future damage from rain and sun. Raising the existing parapets will enable an energy efficient roofing system by providing an increase in roof**

**insulation concealed by the increased parapet ht. which is allowable per height calculations of adjacent properties.**

(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

**Response: The scale of the proposed portals and parapets helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.**

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape

**Response:**

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

**Response:**

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

**Response:**



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

## To Be Completed By Applicant:

Date Submitted: 10/27/20  
Property Owner of Record: PAUL MARKOWAS  
Applicant/Agent Name: Taylor Parove  
Contact Person Phone Number: (505) 660-7468

Site Address:

601 SAN ANTONIO

Proposed Construction Description:

REMODEL INTERIOR - RESTORE EXTERIOR

TOTAL ROOF AREA:

Zoning District: R-3 EAST SIDE HISTORIC

Lot Coverage: 17% 40% max  
☐ Open Space Required: \_\_\_\_\_

Overlay: ☐ Escarpment  
☐ Flood Zone\*  
☐ Other: \_\_\_\_\_

Setbacks:  
Proposed Front: 5' Minimum: 5'  
2<sup>nd</sup> Front? 5'

### Submittals Reviewed with PZR:

- ☒ Legal Lot of Record ☐ Development Plan ☒ Building Plans  
☒ Existing Site Plan ☒ Proposed Site Plan ☒ Elevations

Proposed Rear: 0 Minimum: 0  
Proposed Sides: L     R     Minimum: \_\_\_\_\_

### Supplemental Zoning Submittals Required for Building Permit:

- ☐ Zero Lot Line Affidavit

Height: Proposed 18'-6"  
Maximum Height: 14'-10" or  
☒ Regulated by Historic Districts Ordinance  
☐ Regulated by Escarpment District

Access and Visibility: ☐ Arterial or Collector\*\*  
☐ Visibility Triangle Required

Parking Spaces: NO CHANGE  
Proposed \_\_\_\_\_ Accessible \_\_\_\_\_  
Minimum: \_\_\_\_\_

Use of Structure: ☒ Residential  
☐ Commercial Type of Use: \_\_\_\_\_

Bicycle Parking\*\*:  
Proposed: \_\_\_\_\_ Minimum: \_\_\_\_\_

Terrain: ☐ 30% slopes \_\_\_\_\_

\* Requires an additional review conducted by Technical Review Division.

\*\* Requires an additional review conducted by the Traffic Engineering Division.

\*\* Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Taylor Parove [ ☐ OWNER ☐ APPLICANT ☒ AGENT ]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Taylor Parove  
SIGNATURE

10/27/20  
DATE

## To Be Completed By City Staff:

### Additional Agency Review if Applicable:

- ☐ Escarpment Approval by N/A Date:     /     /      
☐ Flood Plain Approval by N/A Date:     /     /      
☐ Traffic Engineering Approval by N/A Date:     /     /

Notes: \_\_\_\_\_

### Zoning Approval:

☒ Preliminary Approval ☐ with conditions ☐ Rejected

Comments/Conditions: \_\_\_\_\_

REVIEWER: Noah L Berke

DATE: 10/27/20



601 SAN ANTONIO. SOUTH ELEVATION



601 SAN ANTONIO. VIEW FROM PRIVATE DRIVE. (WEST)



RECEIVED  
NOV 03 2020  
BY: \_\_\_\_\_

601 SAN ANTONIO. EAST ELEVATION



601 SAN ANTONIO. PARTIAL NORTH/WEST ELEVATION



601 SAN ANTONIO. WEST ELEVATION FROM PRIVATE DRIVE



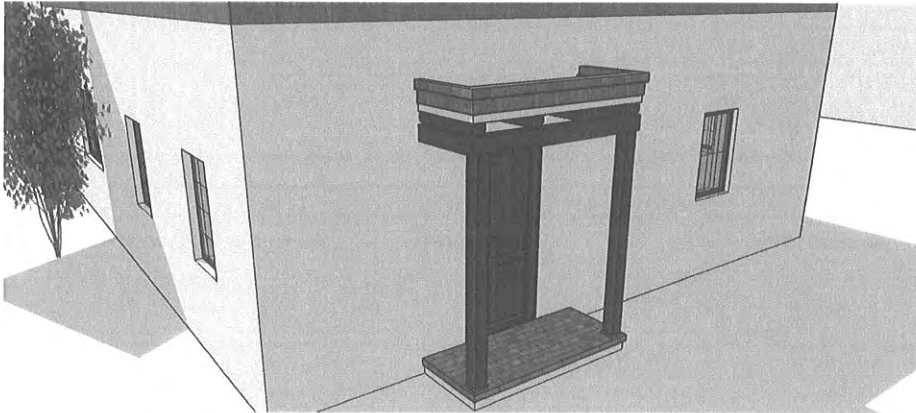
601 SAN ANTONIO. PARTIAL NORTH ELEVATION



601 SAN ANTONIO. PARTIAL NORTH ELEVATION



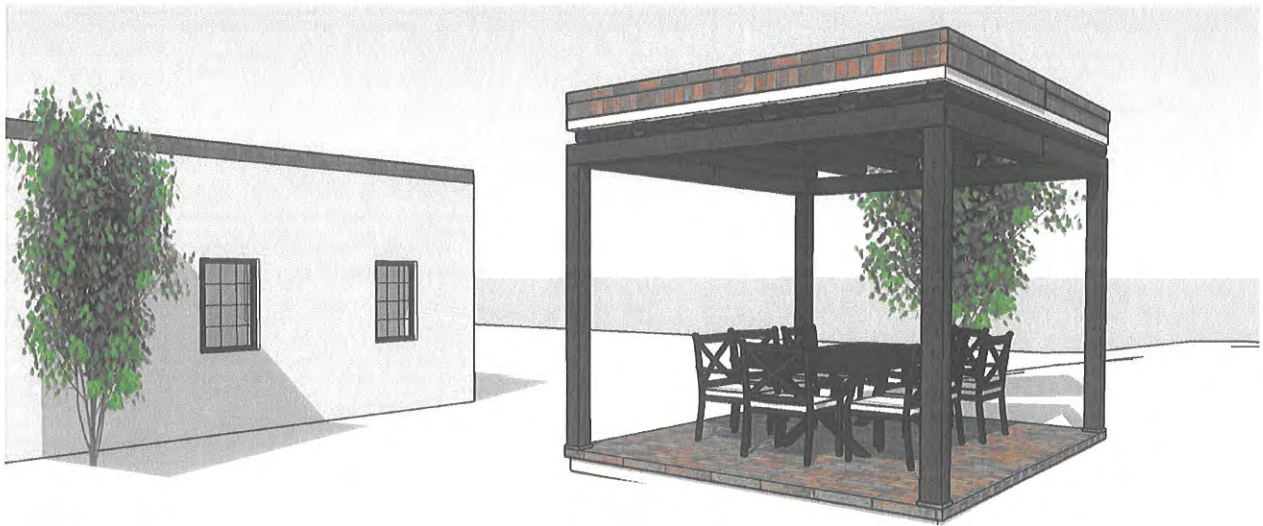
Example of Portal design for 601 San Antonio



Rendering of East portal



Rendering of West Portal with shade structure in background, view from west-north-west



Rendering of shade structure viewed from southwest



105 NICOLE PLACE PO Box  
SANTA FE, NM 87505

PROJECT

601 SAN  
ANTONIO

SANTA FE, NM 87505

DATE: N/A/20

PROJECT NO.

REVISION DATE

1

2

3

4

NOTES:

1. ALL DIMENSIONS

SHOWN ARE TO F.O. UNLESS

UNLESS OTHERWISE

NOTED.

2. HOUSE DATUM X.X' -

0'-0"

PHASE

HISTORIC  
DESIGN  
REVIEW

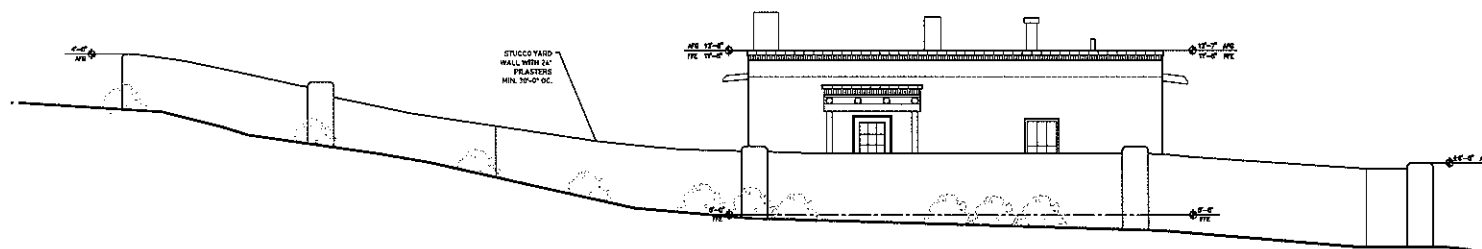
NOT FOR  
CONSTRUCTION

ELEVATIONS

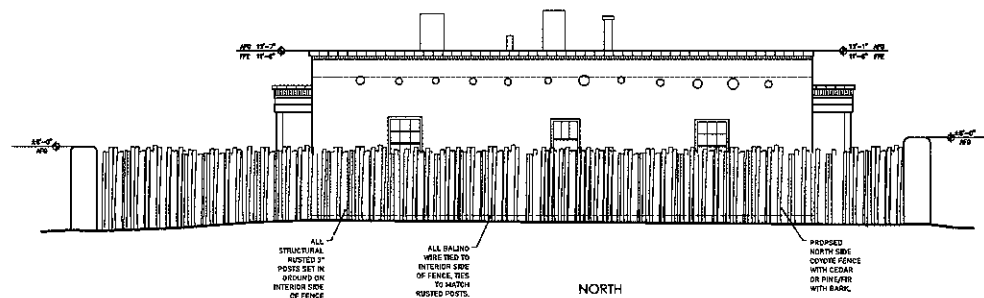
SCALE: SEE DRAWING

A3.2

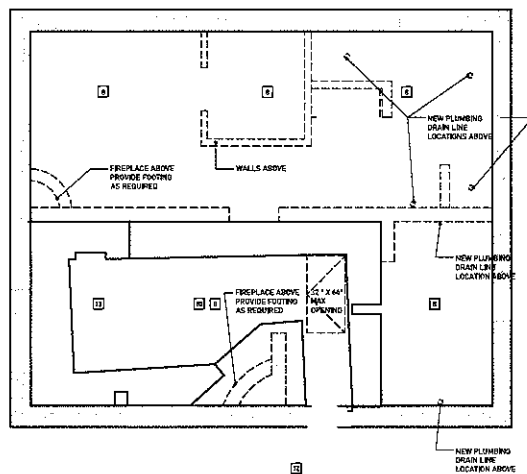
DRAWN BY: SP



2 PROPOSED YARD WALL ELEVATION EAST  
SCALE: 1/4" = 1'-0"

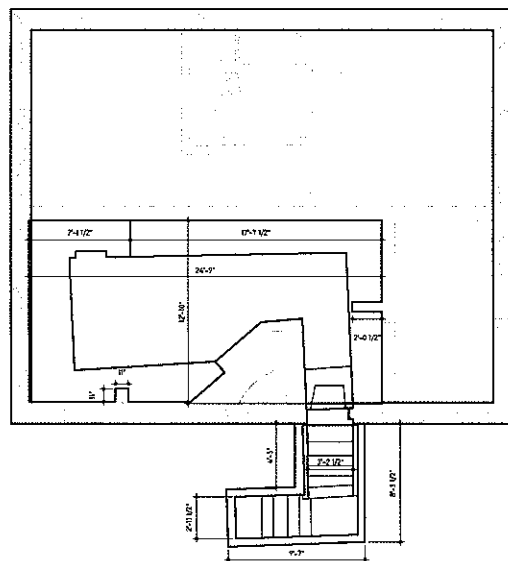


1 PROPOSED YARD WALL ELEVATION NORTH  
SCALE: 1/4" = 1'-0"


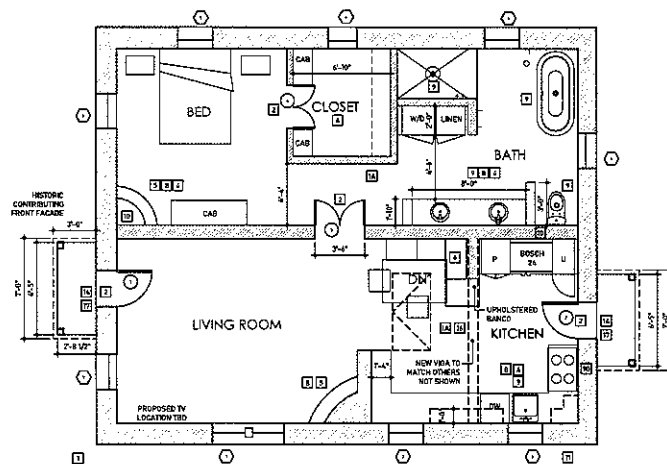


**PROPOSED BASEMENT PLAN**

SCALE 1/4" = 1'-0"

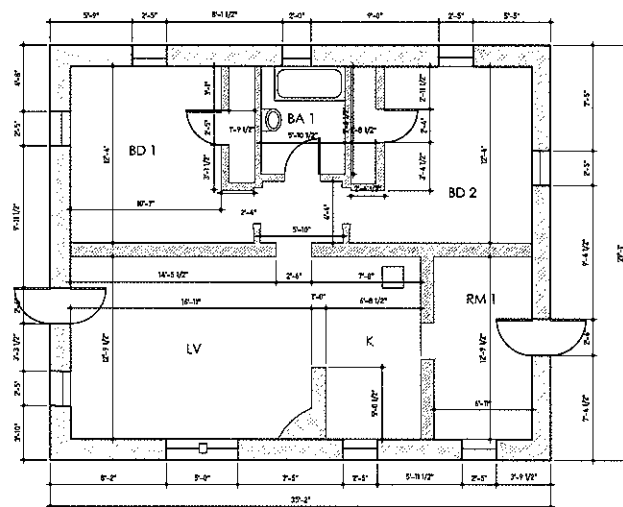


**EXISTING BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



# PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



**EXISTING 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

### SCHEMATIC NOTES

- 1 ALL EXTERIOR FAÇADES TO REMAIN UNLESS OTHERWISE NOTED
- 14 INTERIOR NON LOAD BEARING FRAMED WALLS REMOVED AS INDICATED, NEW FRAMED WALLS PROVIDED WITH GYP. DR EACH SIDE, PREPARED FOR DAMAGED PLASTER FINISH
- 2 EXISTING DOORS REMOVED, NEW CUSTOM DOOR BUILT AND REINSTALLED TO MATCH EXISTING CONTEXT, PROVIDE EXTERIOR SCREENS WHERE APPLICABLE
- 4 NEW CABINETRY, APPLIANCES, PLUMBING FIXTURES AND COUNTERTOPS AS NEEDED
- 2 NEW GAS INSERT FIREPLACE TO BE PROVIDED NEW AND/OR EXISTING CONVERTED
- 4 NEW BUILT IN BENCH FOR DINING AREA WITH STORAGE CABINETS BELOW AS REQUIRED
- 8 EXISTING FLOOR FRAMING INCREASED AND NEW FINISH FLOORING APPLIED ON FIRST FLOOR
- 6 NEW PLUMBING SUPPLY AND WASTE LINES REQUIRED TO LOCATION OF PLUMBING FIXTURE
- 10 NEW GAS SUPPLY LOCATION
- 10 NEW ELECTRICAL LIGHTING AND POWER PROVIDED THROUGHOUT HOUSE PER CODE REQUIREMENTS, EXISTING POWER SUPPLY TO BE TRENCHED TO NEW PANEL LOCATION TBD
- 12 BASEMENT ACCESS STAIRS TO BE MODIFIED
- 10 NEW MECHANICAL EQUIPMENT LOCATION
- 14 NEW EXTERIOR NIGHT SKY WALL SCONCES
- 10 NEW DUSTED HINI SPIRES WITH COMPRESSIONS LOCATED ON ROOF AND DUSTED DRILLS LOCATED NEARBY AS NEEDED
- 4 NEW STRUCTURAL BEAM
- 10 NEW PORTAL



705 NICOLE BLADE #2  
SANTA FE NM 87505

PROJECT

601 SAN  
ANTONIO

SANTA FE, NM 87502

DATE 10/29/20  
PROJECT NO. 100

PROJECT NO.	NO.
REVISION	DATE

REVISION	DATE
1	
2	

3

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NOTES  
1. ALL DIMENSIONS

SHOWN ARE TO F.O. STUD  
UNLESS OTHERWISE

2. MOUSE DATUM: XLR -

 $0.25 \times 10^{-3}$ 

\_\_\_\_\_

PHASE

**PHASE**

## HISTORIC DESIGN REVIEW

**NOT FOR  
CONSTRUCTION**

FLOOR  
PLANS

SCALE:  $N=9$ 

## A2.1

**DRAWN BY:**



# 601 San Antonio

## Window Condition Assessment

South Window #1  
Pair of double hung windows  
28" x 48"



Prepared by:  
Scott Ernst  
10/8/2020



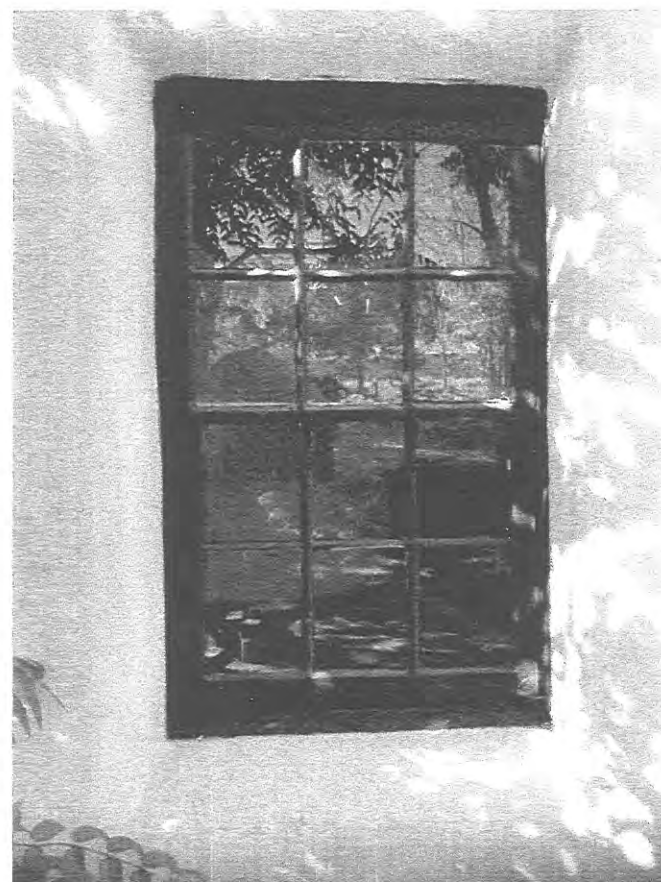
### Condition

This unit is in the worst condition of all of the windows in the house. Due to what looks to be multiple layers of plaster building up in front of the sill, water has been puddling on it and it is completely rotten. The rest of the jamb also seems to be rotten where it is against the adobe. The sashes are in reasonably good shape although some joints are coming loose and there are a few warped muntins. The meeting rails are a little warped and weathered from dripping condensation and may have to be replaced. The interior paint is peeling, no doubt also due to condensation. The exteriors of the sashes are weathered under a recent coat of paint.

### South Window #2

Double hung

28" x 48"





### Condition

This unit is in similar condition to south window #2. The sashes are generally sound but the profiles on the interior are weathered from condensation and the paint is peeling. The exterior is weathered. I suspect jamb rot.

East door #1  
30" x 80"





### Condition

This unit is in slightly better condition than south window #1 although the jamb also appears to have rot. The exterior is weathered and the interior paint is peeling.

South Window #3  
Double hung  
28" x 48"





### Condition

This unit is in moderately good condition. The exterior is weathered and the interior paint is peeling. Some of the joints are open and show signs of repair. I suspect jamb rot.

North Window #1  
Double hung  
28" x 48"





### Condition

This unit is in very good condition.

North Window #3  
Double hung  
28" x 48"





Condition

As is typical for north facing windows, this unit is in very good condition

North Window #2  
Double hung  
24" x 33"





### Condition

This unit is in pretty good condition. It is weathered on the outside and some paint is peeling on the inside.

West Door #1  
30" x 80"

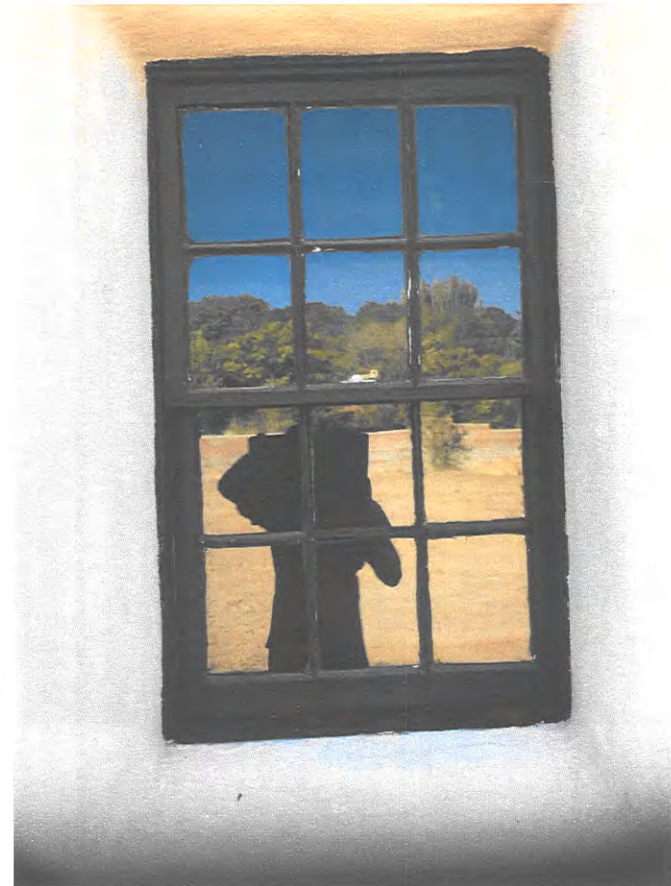




### Condition

This door appears to be a somewhat recent factory door. It is in good condition but isn't anything special.

East Window #1  
Double Hung  
28" x 48"





### Condition

Despite some paint peeling on the interior, this unit is in good condition.

West Window #1  
Double hung  
28" x 48"





### Condition

Like the east door, this appears to be a recent factory door.

West Window #2  
Double hung  
28" x 48"





### Condition

The jamb on this unit is in pretty hard shape. The sashes are in relatively good condition although there is some exterior weathering and interior paint issues. One muntin is warped and may need to be replaced.

### Conclusions

Generally all of the windows on this house show signs of having been recently maintained, since the exterior paint and glazing compound look to be pretty new. From my experience with old windows in Santa Fe, I suspect that most of the jambs will have rot where they abut the adobe. Some are clearly rotten. Others don't look too bad.

The south and east facing sashes are weathered on their exterior faces but the paint is new. I believe that during some period they were not maintained, the paint peeled and the wood weathered. Then someone painted over that and replaced the putty, which is soft and new.

Despite the weathering and some muntin issues, all of the sashes can be restored.

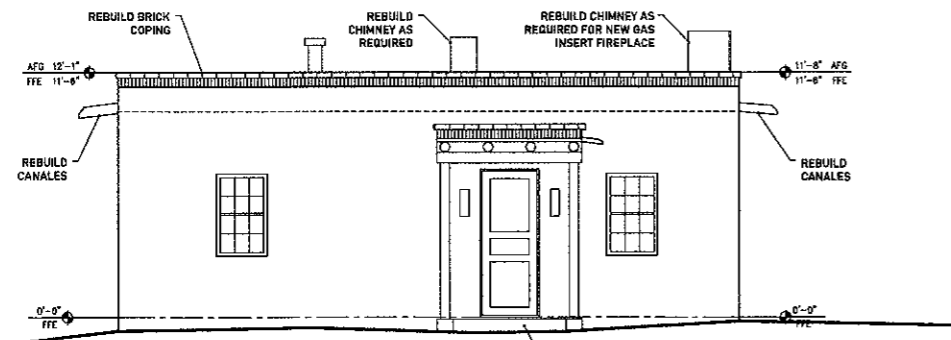
### Recommendations

I suggest pulling all of the units out of the building during the remodel. The sashes should have all of their paint and putty stripped and glass removed. Any weathered wood can be stabilized with epoxy. Bent muntins and meeting rails should be replaced. Once they are restored, the sashes would get new paint and putty.

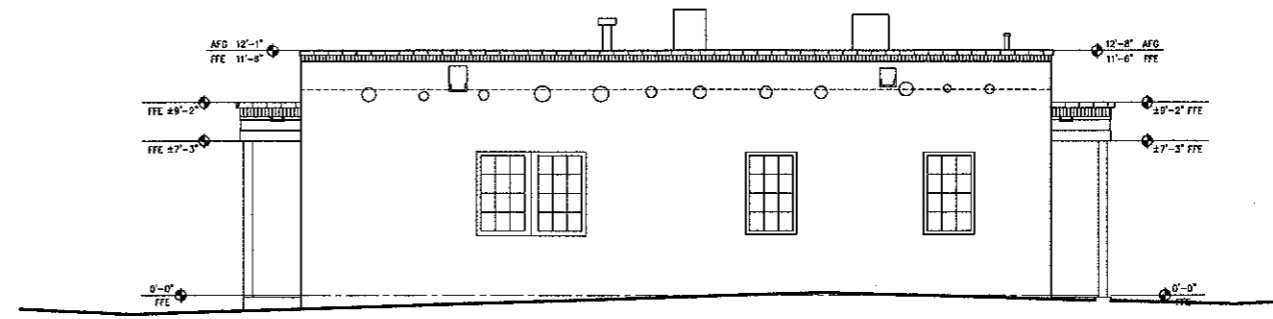
I also suggest that all of the jambs be replaced. This would allow new jambs to be built with rabbets for traditional storm sashes. Having storms will help to keep the weather off of the sashes and increase the thermal efficiency of the building. Along with keeping the house warm, this will also help to prevent interior condensation which is a major contributor to interior paint issues.

None of the windows were built with any balances, sash weights or sash pins. I would recommend retrofitting the units with spiral balances.

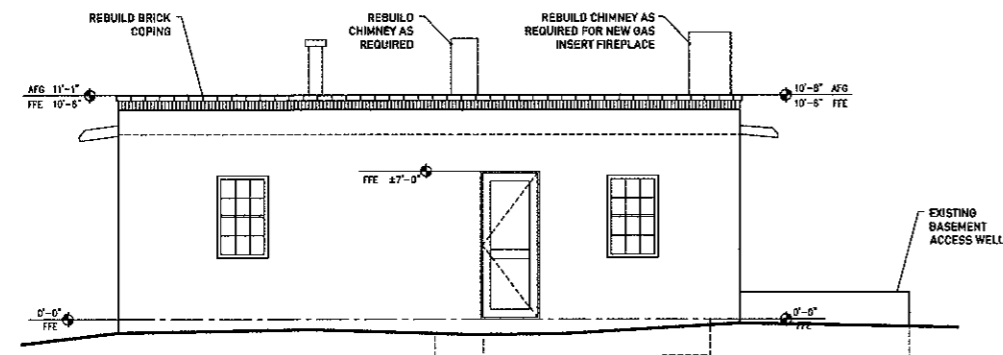
There are some nice (and inconspicuous) modern weather stripping options that work well on old windows and help with building efficiency. They could easily be incorporated into a restoration.



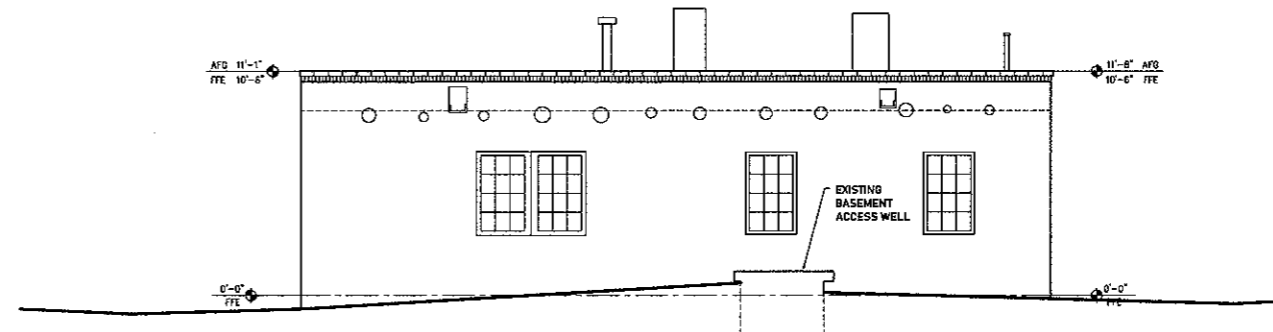
**8 PROPOSED EXTERIOR ELEVATION WEST**  
SCALE: 1/4" = 1'-0"



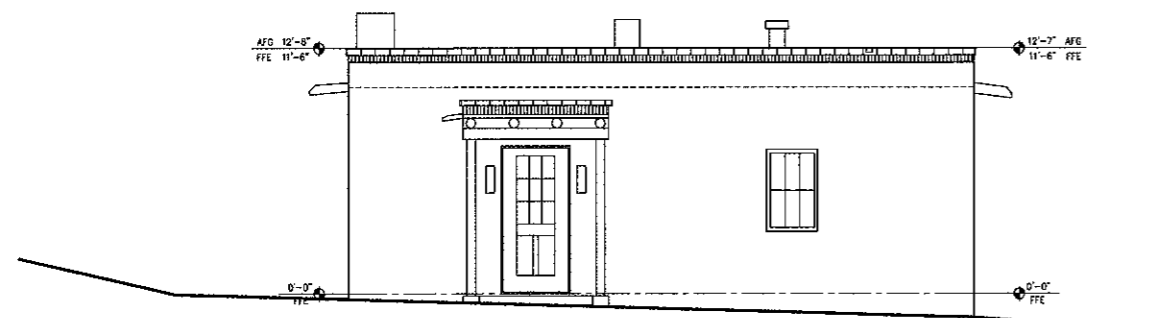
**4 PROPOSED EXTERIOR ELEVATION SOUTH**  
SCALE: 1/4" = 1'-0"



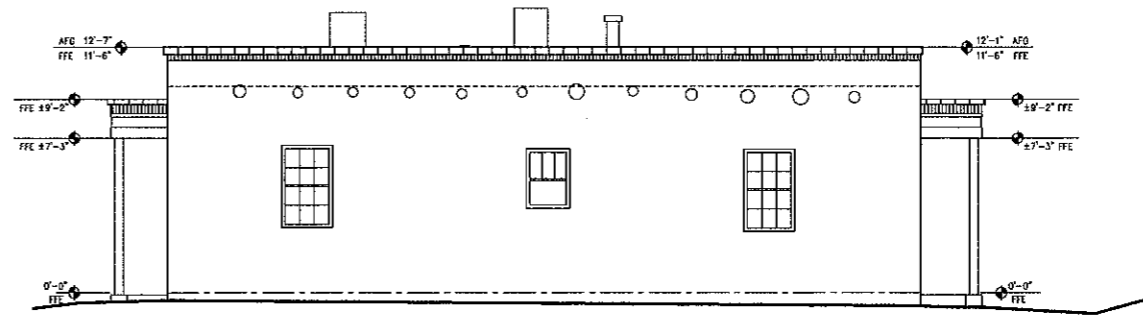
**7 EXISTING EXTERIOR ELEVATION WEST**  
SCALE: 1/4" = 1'-0"



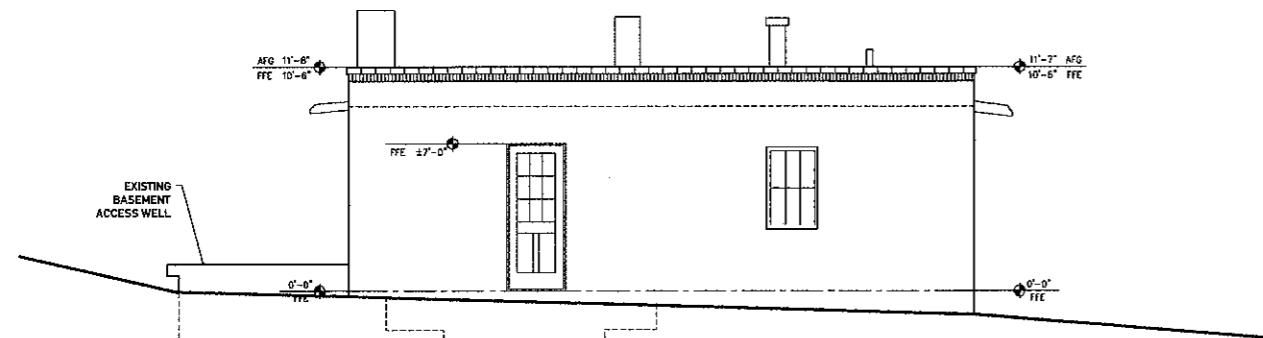
**3 EXISTING EXTERIOR ELEVATION SOUTH**  
SCALE: 1/4" = 1'-0"



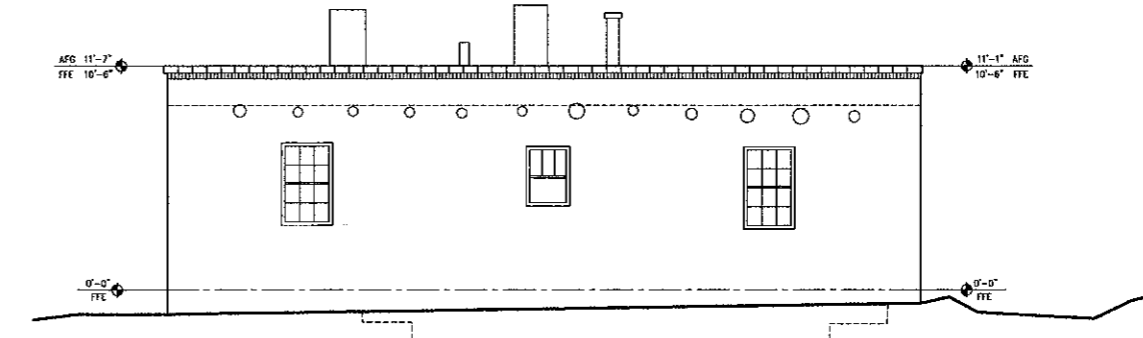
**6 PROPOSED EXTERIOR ELEVATION EAST**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED EXTERIOR ELEVATION NORTH**  
SCALE: 1/4" = 1'-0"



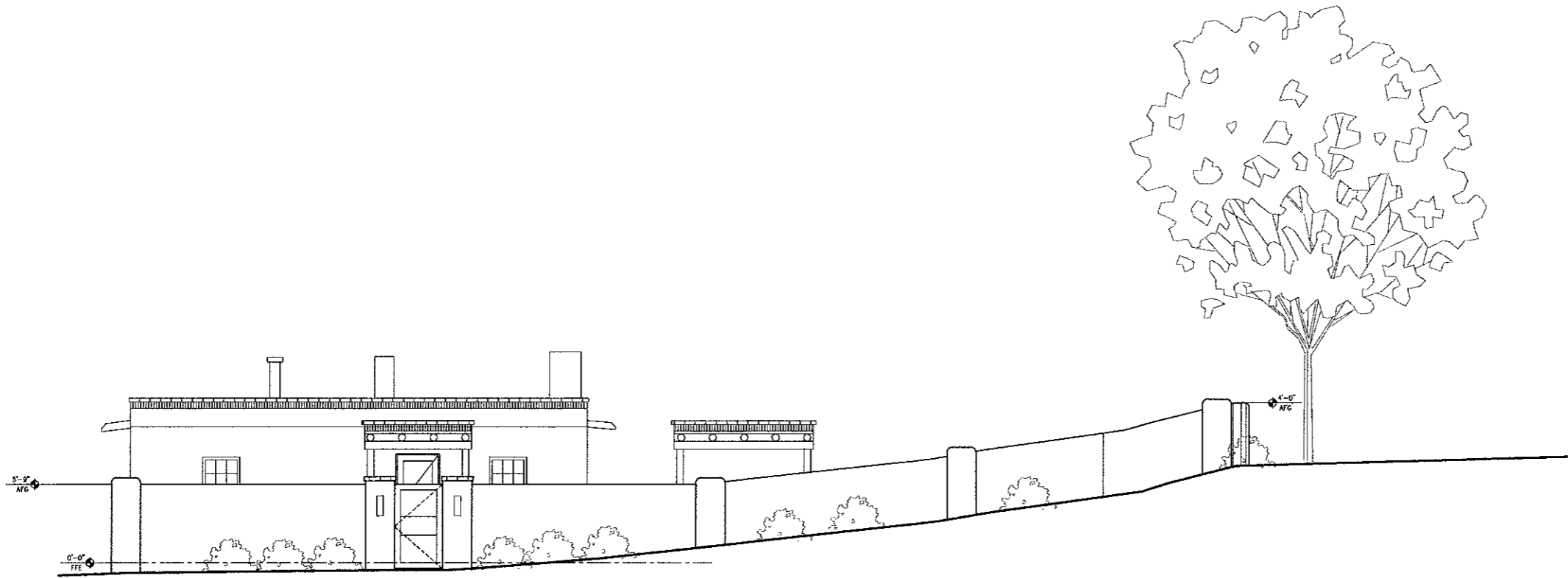
**5 EXISTING EXTERIOR ELEVATION EAST**  
SCALE: 1/4" = 1'-0"



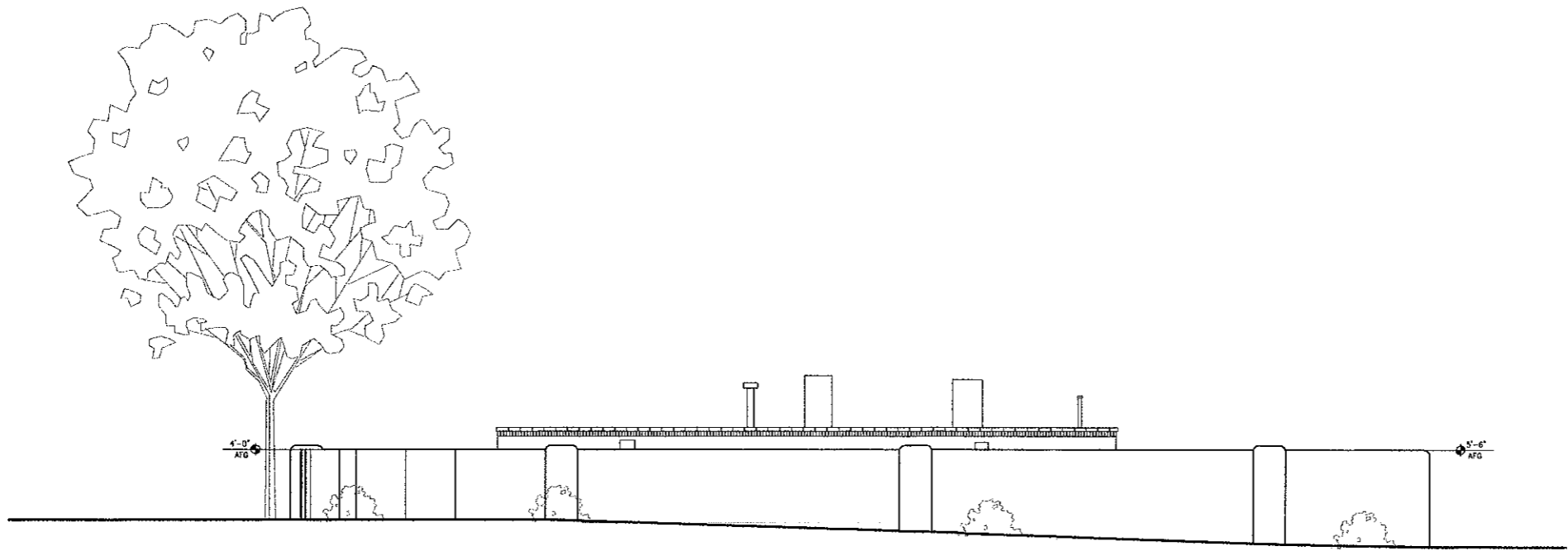
**1 EXISTING EXTERIOR ELEVATION NORTH**  
SCALE: 1/4" = 1'-0"

REVISION	DATE
1	
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4	
5	
6	

NOTES:  
1. ALL DIMENSIONS  
SHOWN ARE TO F.O. STUD  
UNLESS OTHERWISE  
NOTED.  
2. HOUSE DATUM: XX' +  
0'-0"



**2 PROPOSED YARD WALL ELEVATION WEST**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED YARD WALL ELEVATION SOUTH**  
SCALE: 1/4" = 1'-0"

DATE:	10/20/20
PROJECT NO.	NO.
REVISION	DATE
1	
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NOTES:  
1. ALL DIMENSIONS  
SHOWN ARE TO F.O. STUD  
UNLESS OTHERWISE  
NOTED.  
2. HOUSE DATUM: XCP +  
0'-0"

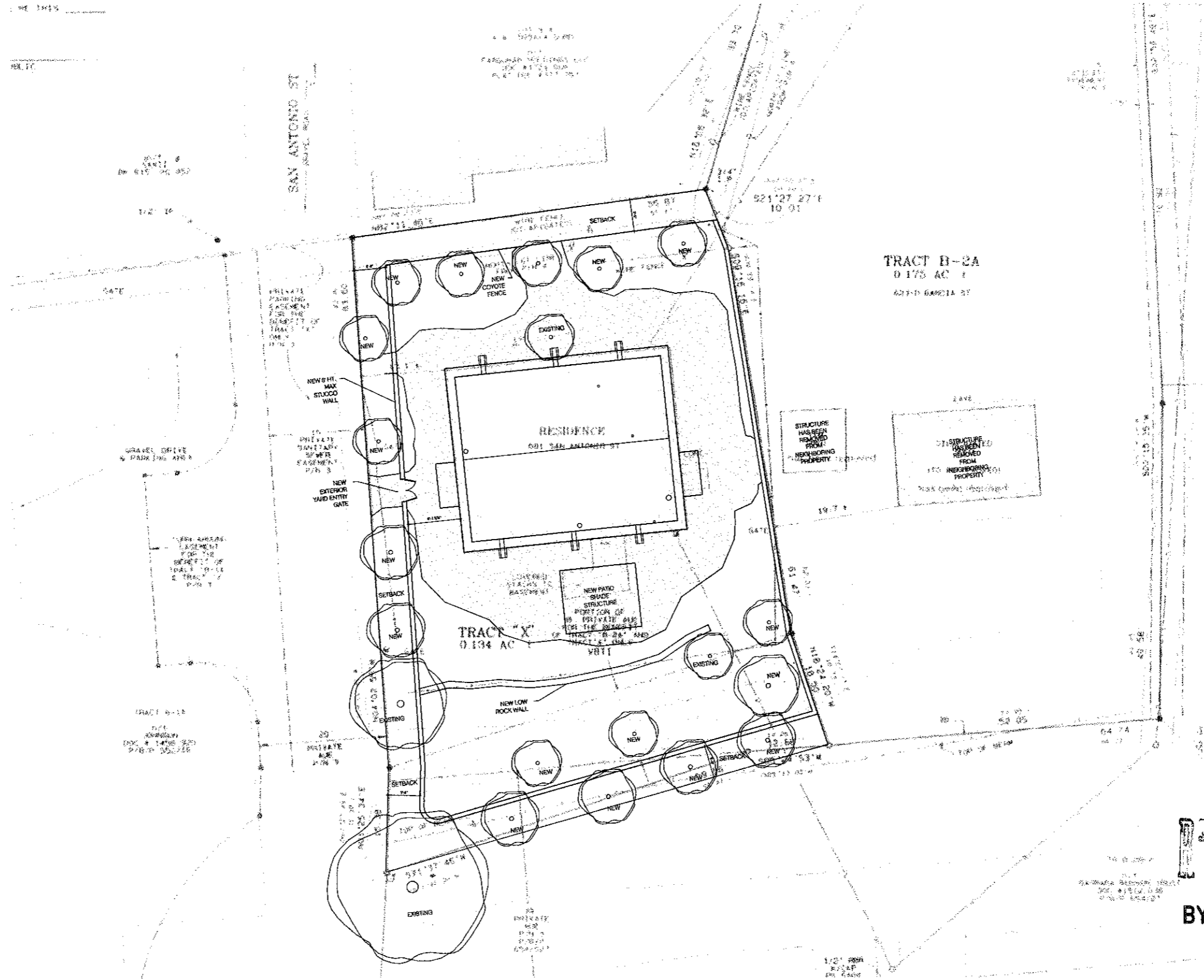
PHASE  
HISTORIC  
DESIGN  
REVIEW

SITE  
PLAN

SCALE: 1/8"=1'-0"

A1.1

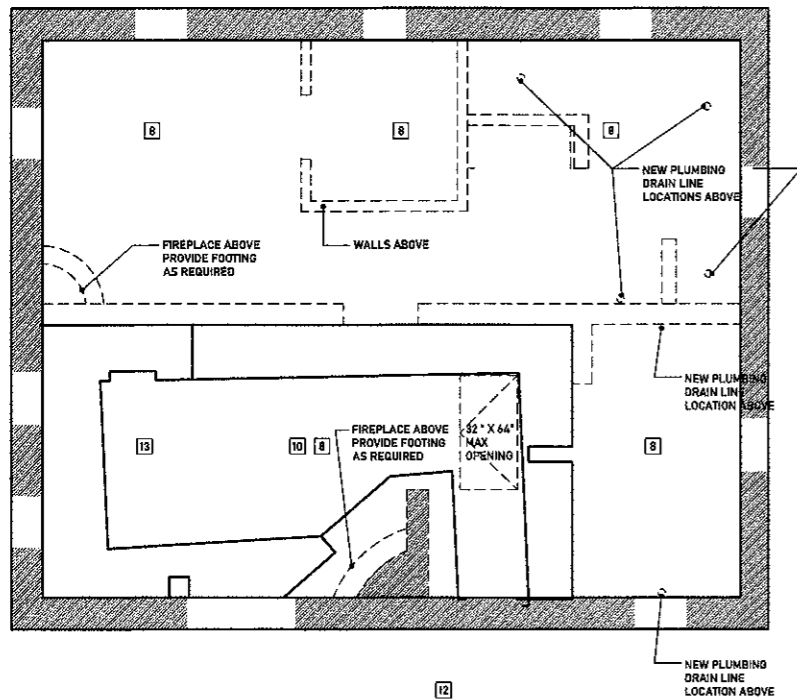
DRAWN BY: TP



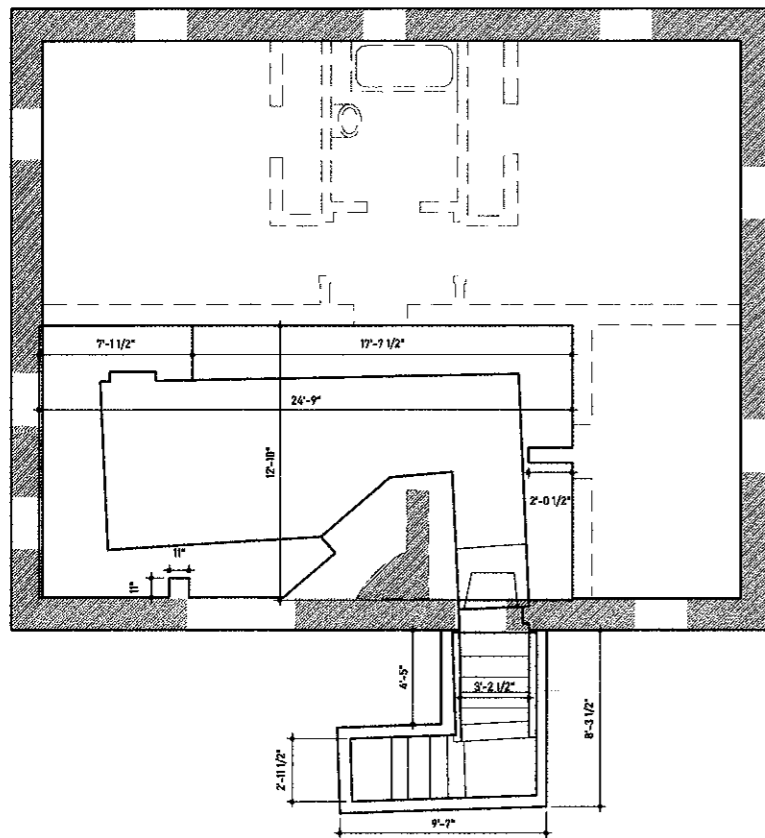
PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"

## SCHEMATIC NOTES

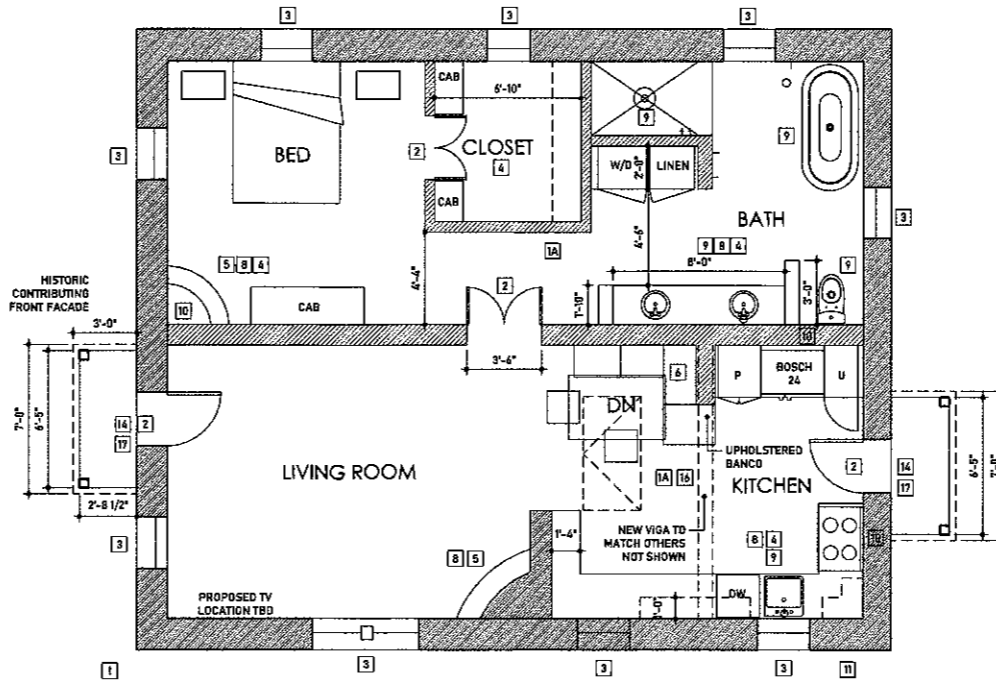
- 1 ALL EXTERIOR FACADES TO REMAIN UNLESS OTHERWISE NOTED
- 1A INTERIOR NON LOAD BEARING FRAMED WALLS REMOVED AS INDICATED. NEW FRAMED WALLS PROVIDED WITH GYP. BD EACH SIDE, PREPARED FOR DIAMOND PLASTER FINISH
- 2 EXISTING DOORS REMOVED, NEW CUSTOM DOOR BUILT AND INSTALLED TO MATCH HISTORIC CONTEXT. PROVIDE EXTERIOR SCREENS WHERE APPLICABLE.
- 3 NEW ENERGY EFFICIENT CUSTOM WINDOW TO MATCH HISTORIC CONTEXT. NO CHANGE TO WINDOW SIZE OR WALL OPENING. SILLS ON EXTERIOR OF BUILDING TO BE REPAIRED OR REPLACED AS NEEDED WHILE RETAINING HISTORIC CONTEXT. INTERIOR SILLS BULLNOSED TO MATCH ORIGINAL.
- 4 NEW CABINETRY, APPLIANCES, PLUMBING FIXTURES AND COUNTERTOPS AS NEEDED.
- 5 NEW GAS INSERT FIREPLACE TO BE PROVIDED NEW AND/OR EXISTING CONVERTED
- 6 NEW BUILT IN BANCO FOR DINING AREA WITH STORAGE CABINETS BELOW AS REQUIRED
- 8 EXISTING FLOOR FRAMING INCREASED AND NEW FINISH FLOORING APPLIED ON FIRST FLOOR.
- 9 NEW PLUMBING SUPPLY AND WASTE LINES REQUIRED TO LOCATION OF PLUMBING FIXTURE
- 10 NEW GAS SUPPLY LOCATION
- 11 NEW ELECTRICAL LIGHTING AND POWER PROVIDED THROUGHOUT HOUSE PER CODE REQUIREMENTS. EXISTING POWER SUPPLY TO BE TRENCHED TO NEW PANEL LOCATION TBD.
- 12 BASEMENT ACCESS STAIRS TO BE MODIFIED
- 13 NEW MECHANICAL EQUIPMENT LOCATION
- 14 NEW EXTERIOR NIGHT SKY WALL SCONCES
- 15 NEW DUCTED MINI SPLITS WITH COMPRESSORS LOCATED ON ROOF AND DUCTED GRILLS LOCATED INSIDE AS NEEDED.
- 16 NEW STRUCTURAL BEAM
- 16 NEW PORTAL



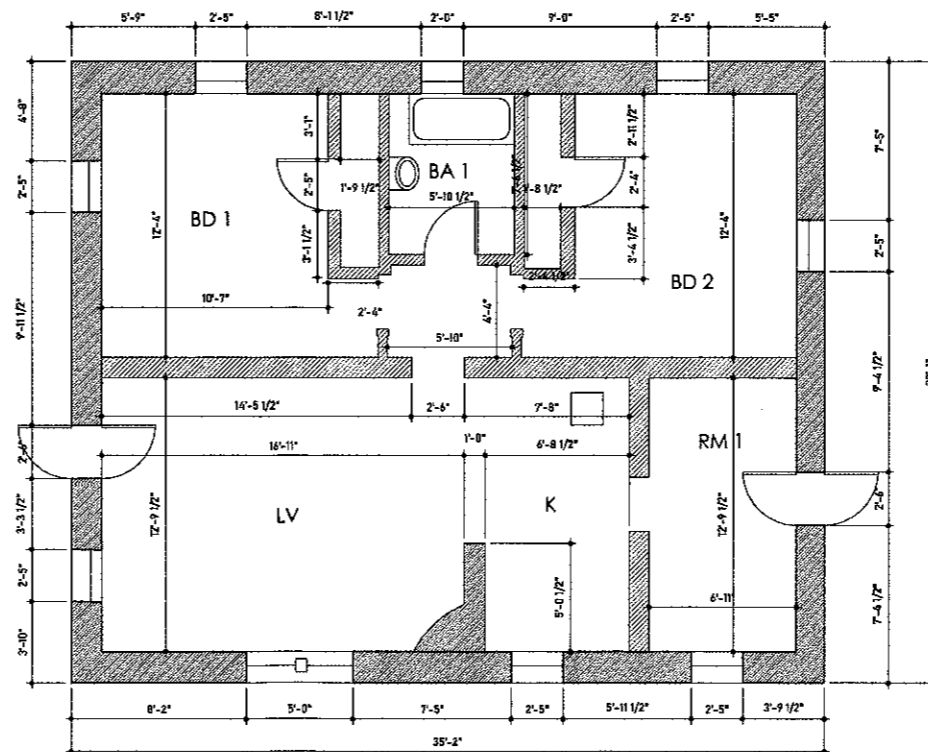
**PROPOSED BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



**EXISTING BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**EXISTING 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"