



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Devendra Contractor, agent for John Utton, owner, proposes to raise the height of a previously approved structure to 13' from 10'6" where the maximum allowable height is 14'2", alter window and door dimensions, remove yardwalls and construct a 72" high yardwall on a non-contributing residential structure. (previous case H-19-002)

Case number: **2020-002853-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 675 Alto Street

OW – John Utton 675 Alto Street Santa Fe, NM 87501 utton@newmexico.com

AP – Devendra Contractor 924 Shoofly Street Santa Fe, NM 87501 devendra@dncarchitect.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area ☐ Downtown and Eastside ☐ Historic Review ☐ Transition ☐ Westside-Guadalupe ☒

HISTORIC BUILDING STATUS

Non-Statused ☐ Non-Contributing ☒ Contributing ☐ Significant ☐ Landmark ☐ N/A ☐

PRIMARY ELEVATIONS: North ☐ South ☐ West ☐ East ☐ N/A ☒

PUBLICLY VISIBLE FACADE-EAST Yes ☒ No ☐

PUBLICLY VISIBLE FACADE-NORTH Yes ☒ No ☐

PUBLICLY VISIBLE FACADE-SOUTH Yes ☐ No ☒

PUBLICLY VISIBLE FACADE-WEST Yes ☒ No ☐

HISTORIC DISTRICT INVENTORY NUMBER

YEAR OF CONSTRUCTION

NEW

PROJECT TYPE

Status ☐ Primary Elevations ☐ Remodel ☒ Demolition ☐ New ☐ Other _____

USE, EXISTING Residential ☒ Non-Residential ☐ Vacant ☐

USE, PROPOSED Residential ☒ Non-Residential ☐

HISTORIC BUILDING NAME _____

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-002853-HDRB

Address: 675 Alto Street
Historic Status: Non-Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

☒ Yard wall
& fence standards.
☒ Historic Inventory Form
☒ Zoning Review Sheet
☐ Other:

APPLICANT SUBMITTALS

☒ Proposal Letter
☒ Site Plan/Floor Plan
☒ Elevations
☒ Photographs
☐ Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(I) Westside-Guadalupe Historic District

BACKGROUND & SUMMARY:

675 Alto Street includes a residential building listed as non-contributing to the Westside-Guadalupe Historic District and new construction of a detached studio and guest house. The studio and guest house were approved by the Historic Districts Review Board on January 8, 2019 (Case # H-19-002) and are constructed of adobe brick and are still under construction. There is also a yard-wall on the north side of the property.

Now, the applicant proposes the following exterior alterations:

1. Replace and relocate the existing non-historic northern yard wall. The wall will be moved 6 feet to the north and will be built to a height of 5 feet, which is the maximum allowable height. Three openings approximately 1 foot 6 inches in height with arched tops will extend above this height to approximately 6 feet. This element is frequently found in the district and conforms to the district standards. The wall will be constructed from adobe and covered with a cementitious stucco colored either El Rey "Desert Rose" or "Adobe." The decorative doors in the wall openings will be constructed from wood and will be colored Sherwin Williams "Nifty Turquoise."
2. Raise the height of the studio from the proposed height of 10 feet 6 inches to 12 feet on the north side and 13 feet on the south side. The maximum allowable height is 14 feet 2 inches.

RELEVANT CODE CITATIONS:

14-5.2(D)

14-5.2(I) Westside-Guadalupe Historic District

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone, shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- (b) The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation;
- (c) Roof form, slope, and shape. It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed

as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;

- (d) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors, by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- (f) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;
- (g) Greenhouses
- (h) Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and that greenhouses made from enclosed porches or portales maintain the shape of the porch or portal;
- (i) Porches and portales are encouraged;
- (j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

Purpose and intent: These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structure(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

SCALE:

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and niches at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

SETBACK:

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

MATERIAL, TEXTURE AND COLOR:

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

GATES:

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

LANDSCAPING (Suggested Options)

Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 12/19/18		675 ALZA ST., SANTA FE, NM 87501
Property Owner of Record: JOHN UTTON		Proposed Construction Description:
Applicant/Agent Name: DUCA ARCHITECTS		ADDITION TO EXISTING HOME
Contact Person Phone Number: 651255-4033		TOTAL ROOF AREA: 790 SQFT
Zoning District: R-21 w/ WESTSIDE - GUADALUPE Hg. DISTRICT OVERLAY		Lot Coverage: _____ %
Overlay:		<input type="checkbox"/> Open Space Required: _____
<input type="checkbox"/> Escarpment		
<input type="checkbox"/> Flood Zone* <u>None</u>		Setbacks:
<input type="checkbox"/> Other: _____		Proposed Front: <u>—</u> Minimum: <u>—</u>
		2nd Front? <u>7'-0"</u>
Submittals Reviewed with PZR:		Proposed Rear: _____ Minimum: _____
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans		Proposed Side: <u>10' 8" 10'</u> Minimum: _____
<input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations		Height: Proposed <u>13'-6"</u>
Supplemental Zoning Submittals Required for Building Permit:		Maximum Height: <u>36'-0"</u> or
<input type="checkbox"/> Zero Lot Line Affidavit		<input type="checkbox"/> Regulated by Historic Districts Ordinance
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		<input type="checkbox"/> Regulated by Escarpment District
<input type="checkbox"/> Visibility Triangle Required		Parking Spaces:
Use of Structure: <input checked="" type="checkbox"/> Residential		Proposed <u>4-6</u> Accessible _____
<input type="checkbox"/> Commercial Type of Use: _____		Minimum: _____
Terrain: <input type="checkbox"/> 30% slopes _____		Bicycle Parking**:
		Proposed: _____ Minimum: _____
* Requires an additional review conducted by Technical Review Division.		** Commercial Requirement
** Requires an additional review conducted by the Traffic Engineering Division		

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

SHANE N. WILSON ☒ OWNER ☒ APPLICANT ☐ AGENT
PRINT NAME
hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

11.19.2018
DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____	Date: ____/____/____
<input type="checkbox"/> Flood Plain Approval by _____	Date: ____/____/____
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: ____/____/____
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>L/L/R TO BE VERIFIED (CHECK 6.4.18 email)</u>	
<u>4th REPEAT OF PORTIONS OF LINES MAP, Bk. 61 & 62, Plat H, COSO DEL PEREZ # C-19, 1978</u>	
REVIEWER: <u>Margaret Ambrosino</u>	DATE: 11/19/18

November 5, 2020 (rev 11-19-2020)

675 Alto Studio

H-19-002

Building Permit No: 19-1209

Summary of Proposed Changes

The Board approved construction of this adobe studio and a guesthouse at its meeting on January 8, 2019 (H-19-002) (See attached approval) and Building Permits were approved: Studio (Permit No. 19-1210) and Guesthouse (Permit No. 19-1209). The Guesthouse was finished last month and received a Certificate of Occupancy.

The Studio is under construction and we are requesting to:

- 1) Replace and relocate existing yard wall. We propose to demolish the existing concrete 7' high block yard wall and replace it with an adobe yard wall relocated 6' to the north along the property line. The new adobe wall will have three small openings (ventanitas) with decorative painted doors of approximately 1'-6" in height. The maximum height of the new yard wall will be 5' (measured from the lane) with the exception of a height of up to 6' over the three openings. See colors and example photos below. The wall will also have a decorative stone base.
- 2) Raise the height of the Studio. We previously requested and the Board approved a height of 10'-6". We request to increase the height to 12' on the lane side and 13' on the interior side. This increase is necessary to accommodate a thicker bond beam, bigger vigas and a built-up roof instead of a TPO roof. Because the constructed floor level is 1'-0" lower than the original approval, the net elevation increase in height ranges from 6" to 1'-6". Even with this increase, the Studio will still be slightly lower than the existing and recently completed Guesthouse.
- 3) Additional smaller items detailed below, including adding an exterior door and awning and modifying a window's dimension.

Detailed List of Proposed Changes

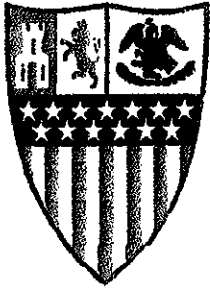
- 1) Remove existing CMU wall and replace with adobe wall with decorative stone base and including three small openings (ventanitas) with decorative painted doors of approximately 1'-6" in height.
- 2) Move existing yard wall approximately 6'-0" North inside property line.
- 3) Lower yard wall height by one to two feet to a height of 5' except up to 6' at peaks over 3 wall openings. See example photos below of wall peak over openings.
- 4) Lower finish floor level $\pm 12"$.
- 5) Remove fireplace and chimney.
- 6) Step parapet and raise parapet height by approximately 18" in several steps. (Change due to Viga thickness and BUR requirements)
- 7) Add exterior door and awning on northside.
- 8) Modify dimensions of north window (taller and narrower).
- 9) Relocate canale.

Proposed Colors

Studio and yard wall will be stuccoed either Desert Rose (El Rey 114) or Adobe (El Rey 116) (concrete-based).

The new awning and the decorative ventanita doors will be painted Sherwin Williams Nifty Turquoise (SW 6941).





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, NM 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Peter N. Ives, District 2
Carol Romero-Wirth, District 2
Roman "Tiger" Abeyta, District 3
Chris Rivera, District 3
Mike Harris, District 4
JoAnne Vigil Coppler, District 4

PROJECT DESCRIPTION: Shane Williams agent for John Utton, owner, proposes to construct a 273 sq. ft. freestanding accessory structure to the height of 10'6", a 517 sq. ft. addition to a height of 12'0", a portal, and install HVAC and hardscaping on a non-statused residential property.

Case number: **H-19-002**
Project Type: **HDRB**

PROJECT LOCATION (S): 675 Alto Street

PROJECT NAMES:

OW – John Utton	675 Alto Street	Santa Fe NM 87501
AP – Shane Williams	125 Jefferson Street NE	Albuquerque NM 87106

BOARD ACTION

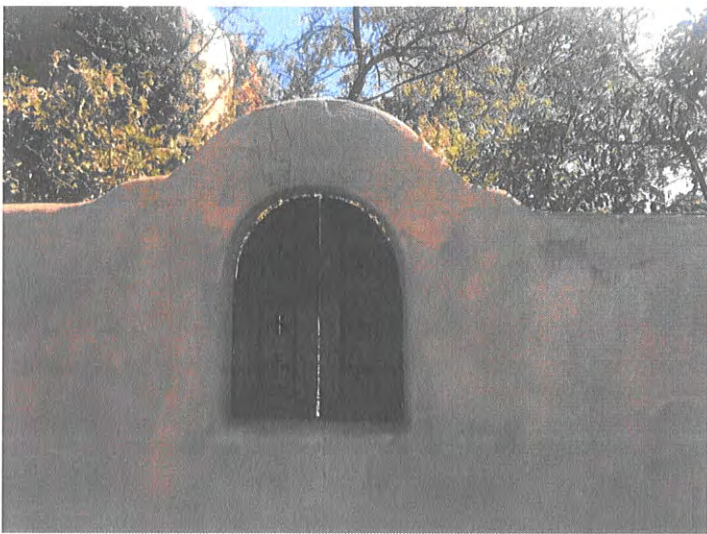
This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on January 8, 2019. The decision of the Board was to approve the application as submitted with the conditions that the applicant shall decrease buttresses height and shall submit new drawings to staff before submitting a construction permit. For further information, please call 505-955-6605.

Sincerely,


Carlos Gemora
Land Use Planner

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

Examples of Ventanitas



675 Alto St. Studio & Yard Wall



1. North side of adobe studio and yard wall – looking southeast from Santa Fe River Park.



2. North side of adobe studio and yard wall – looking south from W. Alameda St.



3. East side of adobe studio – looking west down lane



4. Northeast side of adobe studio and connected yard wall – looking southwest



5. North side of adobe studio and yard wall – looking south from River Park



6. North side of adobe studio and yard wall – looking southeast from lane



7. North and northwest portions of yard wall – looking east down lane



8. Northwest portion of yard wall – looking southwest towards 701 Alto St.



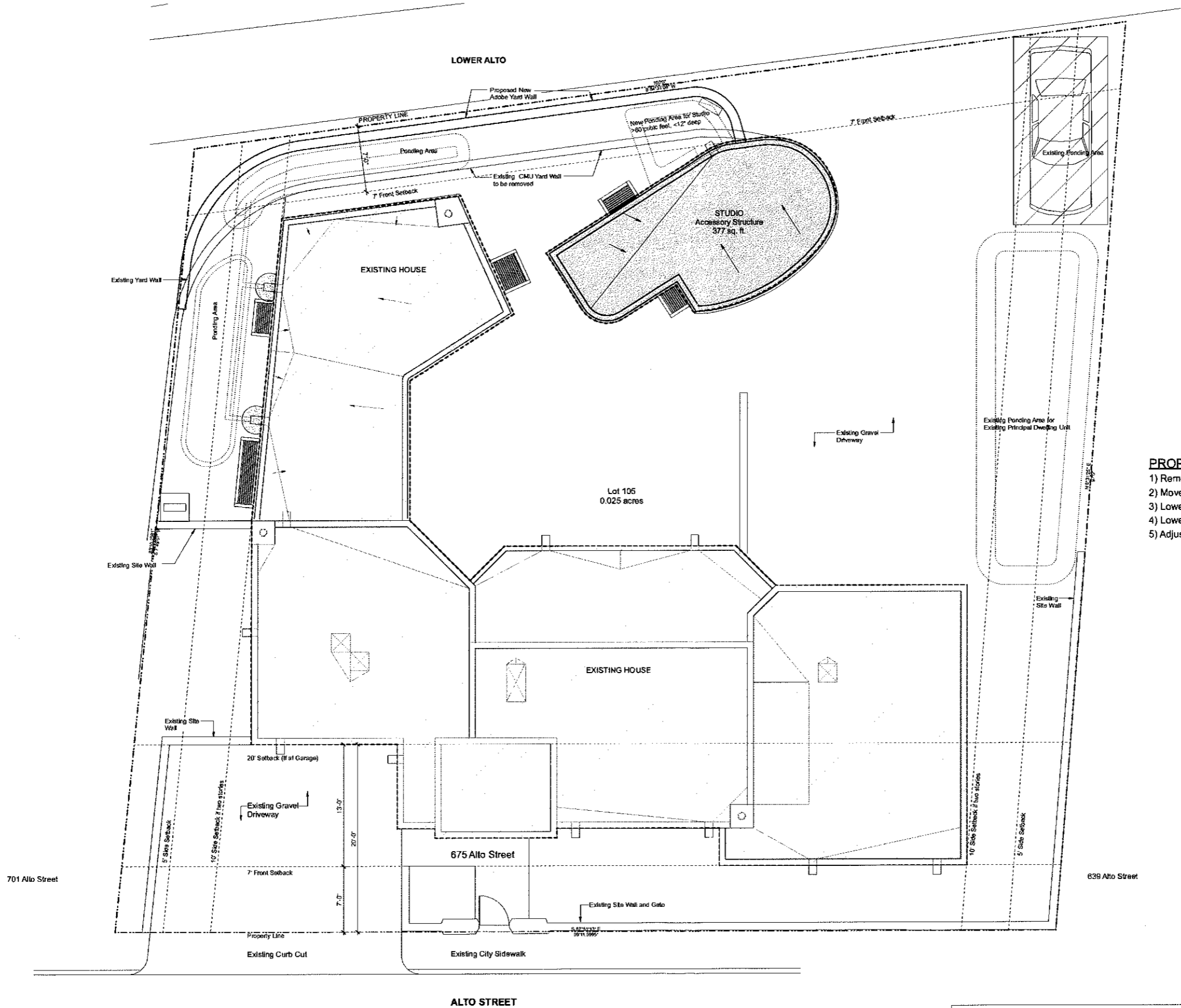
125 Jefferson Street NE Albuquerque NM 87108
ph (505) 255-4033 fx (505) 255-0251
dnca

Utton Residence Addition
675 Alto Street
Santa Fe, New Mexico 87501

Date Issue

October 5, 2020
Proposed Revisions
Documents

G1.1
16 Site Plan



PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall
- 2) Move existing yard wall approximately 6'-0" North inside property line
- 3) Lower yard wall height by 1'-0" to approximately 5' to 6' along lane
- 4) Lower finish floor level $\pm 12"$
- 5) Adjust location of onsite ponding

NOV 24 2020
BY: [Signature]

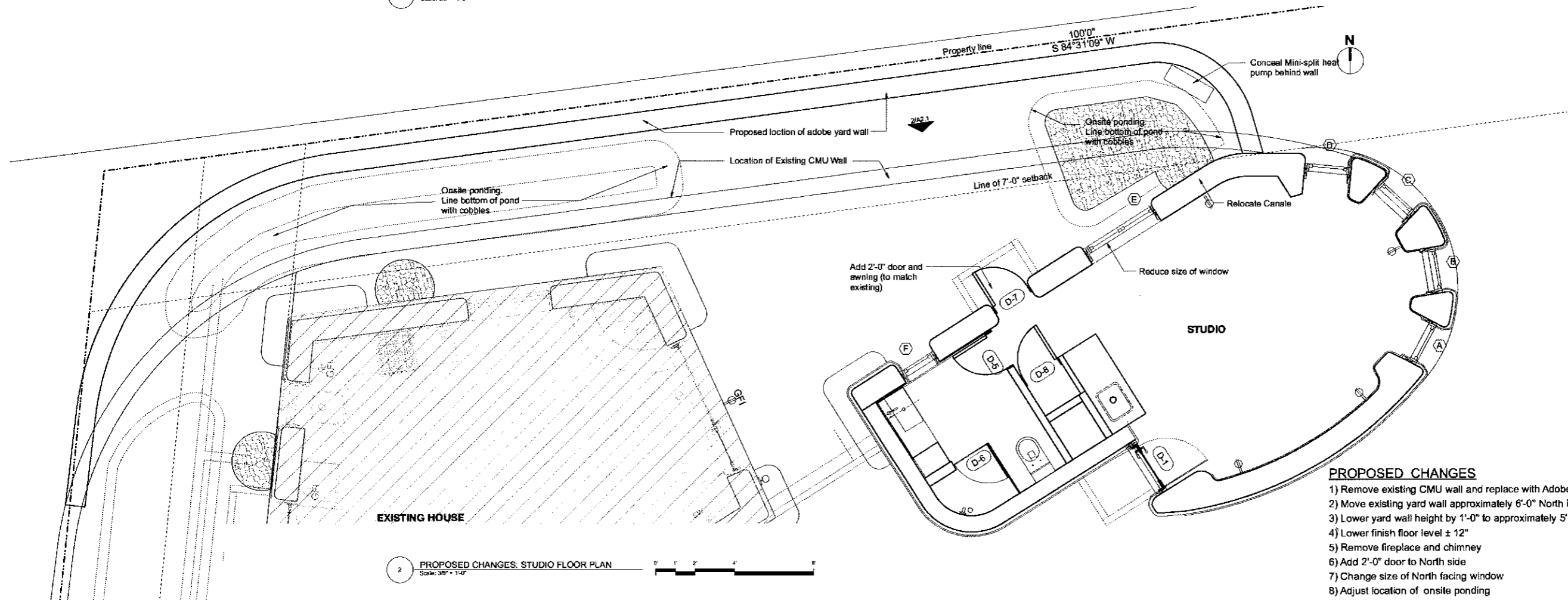
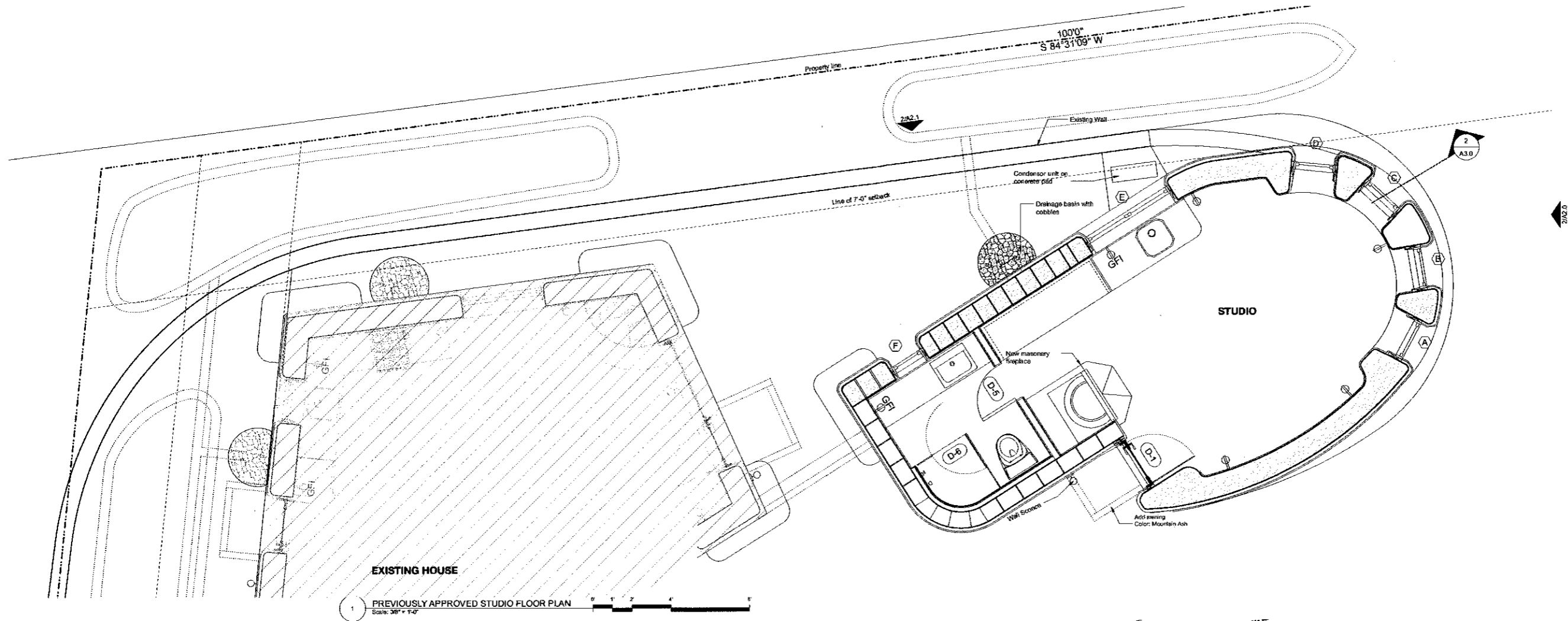


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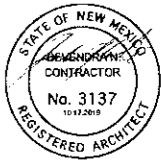
Date: Issue:

October 12, 2020
Proposed Revisions
Documents
A1.0
17 Floor Plan



PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yard wall approximately 6'-0" North inside property line
- 3) Lower yard wall height by 1'-0" to approximately 5' to 6' along lane
- 4) Lower finish floor level $\pm 12"$
- 5) Remove fireplace and chimney
- 6) Add 2'-0" door to North side
- 7) Change size of North facing window
- 8) Adjust location of onsite ponding



125 Jefferson Street NE Albuquerque NM 87108
dnca ph (505) 255-4033 fx (505) 266-0251

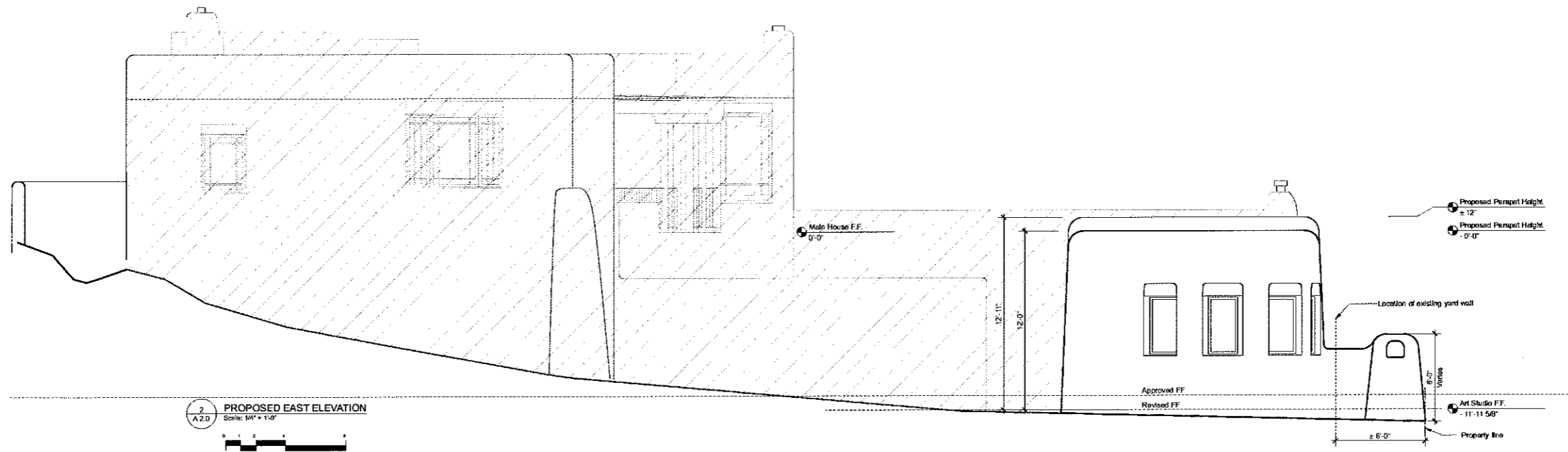
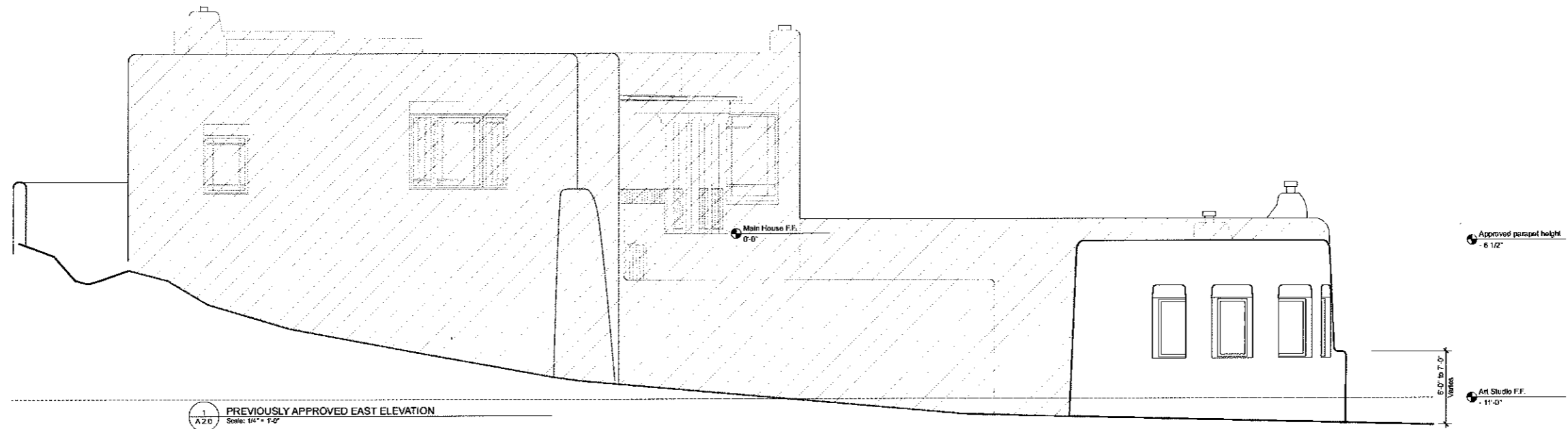
Utton Residence Addition
675 Alto Street
Santa Fe, New Mexico 87501

Date	Issue
02/27/20	Revision 4

Oct 12, 2020 revised Nov 19, 2020

Proposed Revisions
Documents

A2.0
18 Elevations



PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yard wall approximately 6'-0" North into property line.
- 3) Lower yard wall height by 1'-0" to 5' except up to 6' at peak over 3 wall openings.
- 4) Lower finish floor level ± 12".
- 5) Remove fireplace and chimney.
- 6) Stop parapet and raise parapet height by approximately 10" in two steps.
(Change due to Viga thickness and BUR requirements).

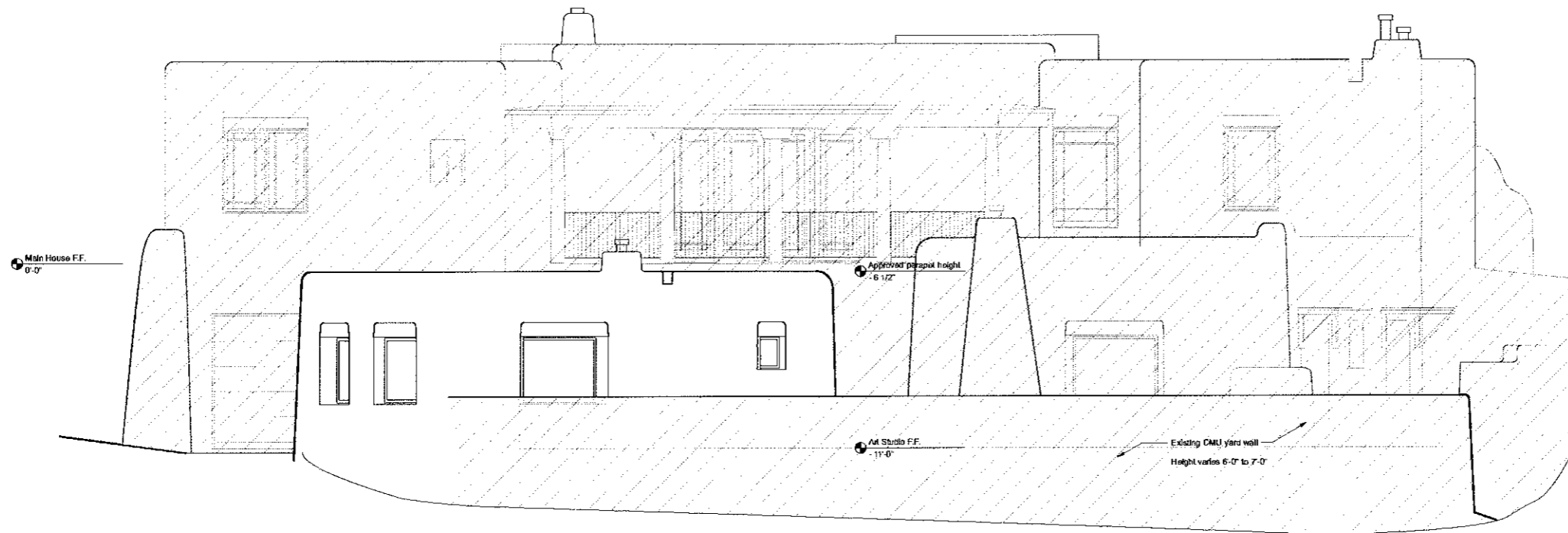


dnca 125 Jefferson Street NE Albuquerque NM 87108
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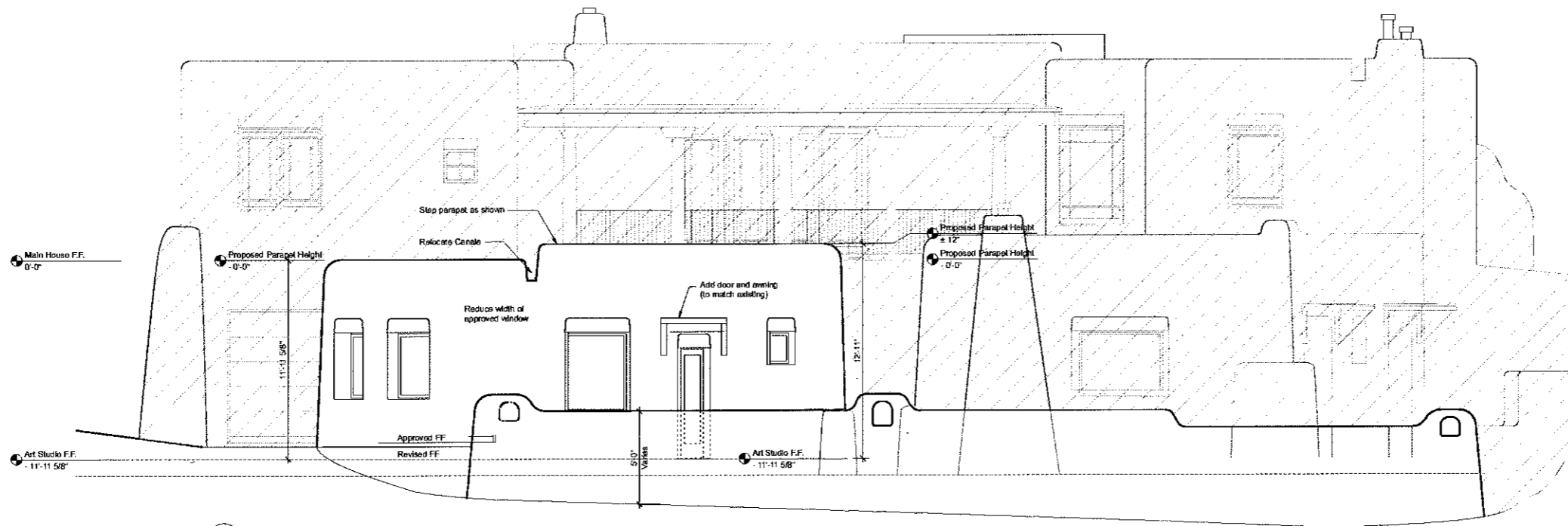
Utton Residence Addition
675 Alto Street
Santa Fe, New Mexico 87501

Date: 02/27/20
Issue: Revision 4

Oct 12, 2020 revised Nov 19, 2020
Proposed Revisions
Documents
A2.1
19 Elevations



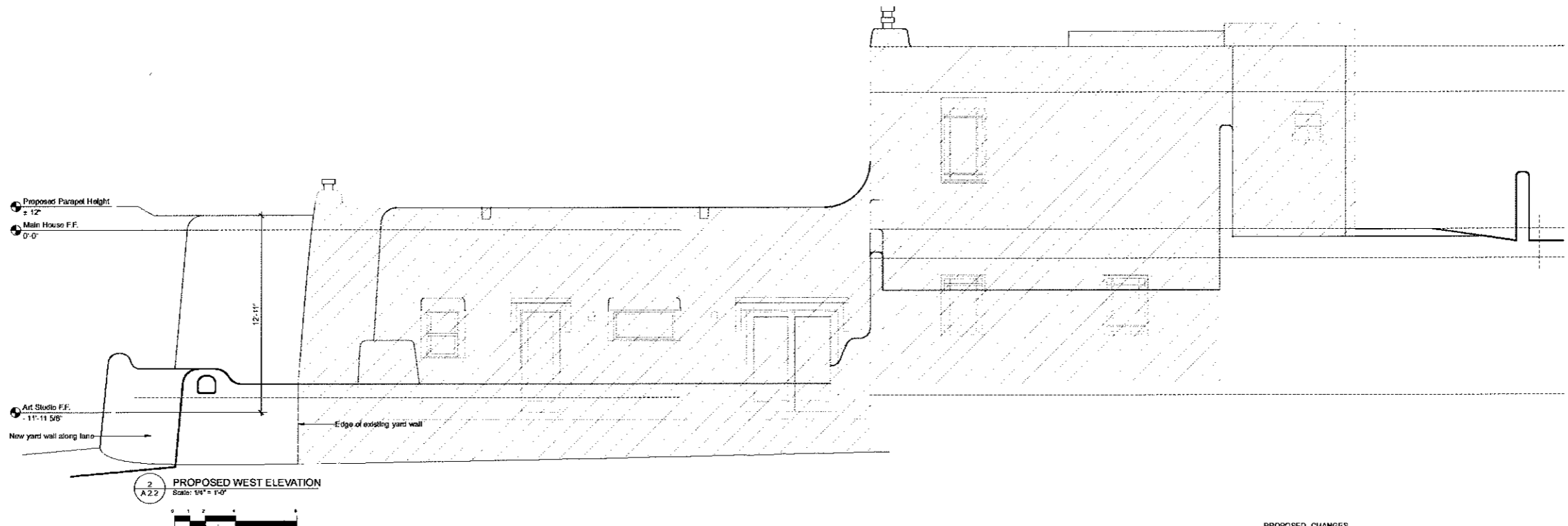
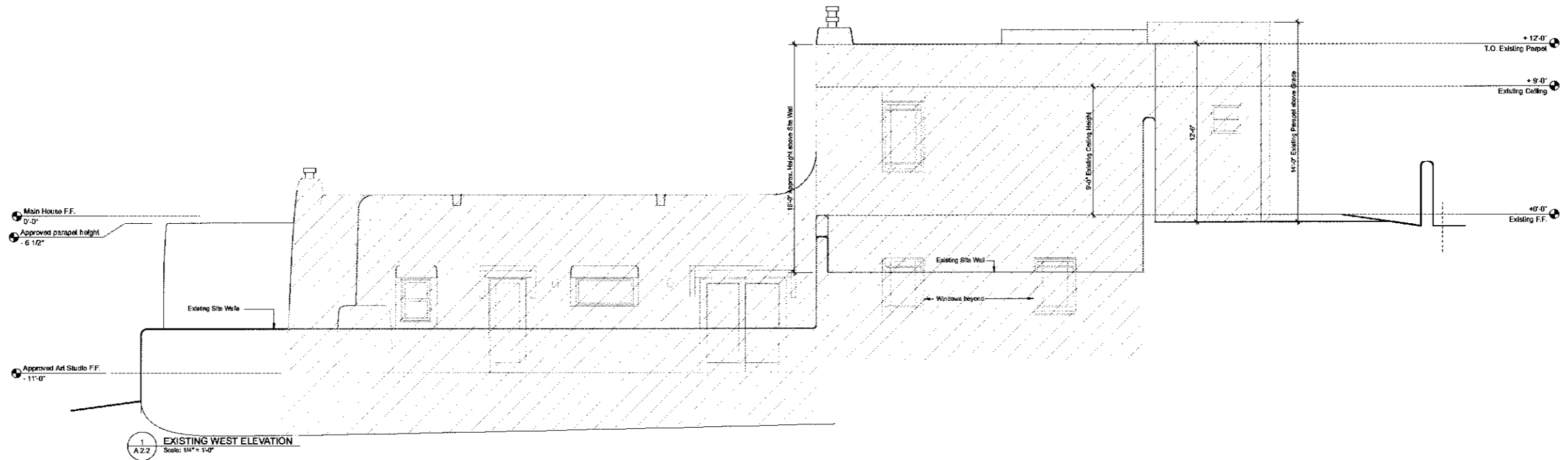
1 PREVIOUSLY APPROVED NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"

PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yard wall approximately 6'-0" North inside property line
- 3) Lower yard wall height by 1'-0" to 5' and up to 6' at the peak of the 3 openings
- 4) Lower finish floor level ± 12"
- 5) Remove fireplace and chimney
- 6) Step parapet and raise parapet height by approximately 18" in two steps.
(Change due to Viga thickness and BUR requirements)
- 7) Add door and awning
- 8) Modify dimensions of North window
- 9) Relocate canale



- PROPOSED CHANGES
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Utton Residence Addition
675 Alto Street
Santa Fe, New Mexico 87501

Date Issue

Oct 12, 2020 revised 11-18-2020

Proposed Revisions
Documents

A2.2
20 Elevations