



## Agenda

CITY CLERK'S OFFICE

DATE 5/4/15 TIME 1:42pm

SERVED BY Christina Duran

RECEIVED BY Alicia Lopez

**PLANNING COMMISSION**  
**Thursday, May 21, 2015 - 6:00pm**  
**City Council Chambers**  
**City Hall 1<sup>st</sup> Floor - 200 Lincoln Avenue**

- A. ROLL CALL**
- B. PLEDGE OF ALLEGIANCE**
- C. APPROVAL OF AGENDA**
- D. APPROVAL OF MINUTES AND FINDINGS/CONCLUSIONS**

MINUTES: None

FINDINGS/CONCLUSIONS: None

- E. OLD BUSINESS**
- F. NEW BUSINESS**

1. **Case #2014-119. Ross' Peak Final Subdivision Plat.** James w. Siebert & Associates, agents for Ross' Peak, LLC, requests approval of a Final Subdivision Plat for 200 lots located on 31.72 acres on Tracts 12 and 13 in Los Soleras. Tract 12 is zoned R-12 and Tract 13 is zoned R-6. The tracts are located south of the Governor Miles and Railrunner Road intersection, immediately east of the Arroyo de los Chamisos. The Preliminary Subdivision Plat was approved by the Planning Commission on August 7, 2014. (Zach Thomas, Case Manager)
2. **Case #2014-124. Pulte Las Soleras General Plan Amendment.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use Map designations for: 12.92 acres from High Density Residential to Low Density Residential; 14.95 acres from Mixed Use to Low Density Residential; and 3.93 acres from Medium Density Residential to Low Density Residential. The property is currently vacant and located within the Las Soleras Master Plan. (Zach Thomas, Case Manager)
3. **Case #2014-123. Pulte Las Soleras Master Plan Amendment.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of amendments to the Las Soleras Master Plan. Amendments include: the realignment of roads, reconfiguration of trails and reduction of active park land, and the reconfiguration of land tracts. (Zach Thomas, Case Manager)
4. **Case #2014-125. Pulte Las Soleras Rezoning.** James W. Siebert and Associates Inc., agent for The Pulte Group, requests Rezoning of: 12.92 acres from R-21 (Residential - 21 units per acre) to R-6 (Residential - 6 units per acres); 14.95 acres from MU (Mixed-Use) to R-6 (Residential - 6 units per acres); and 3.93 acres from R-12 (Residential - 12 units per acre) to R-6 (Residential - 6 units per acre). The property is currently vacant and located within the Las Soleras Master Plan. (Zach Thomas, Case Manager)

5. **Case #2015-09. Pulte Las Soleras Electrical Transmission Line Relocation.** James W. Siebert & Associates, agent for The Pulte Group, requests approval to relocate an existing 115kv electrical transmission line within the Las Soleras Master Plan as the part of the greater Pulte Group Master Plan Amendment, General Plan Amendment, Rezone and Subdivision request. The proposed relocation will follow the future Beckner Road alignment. (Zach Thomas, Case Manager)
6. **Case #2014-126. Pulte Las Soleras Lot line Adjustment.** James W. Siebert and Associates Inc., agent for The Pulte Group, requests approval of lot line adjustments within the Las Soleras Master Plan to reconfigure land tracts consistent with the proposed General Plan Amendment and Rezoning. The proposed lot lines coincide with anticipated phasing of future single-family residential subdivisions. (Zach Thomas, Case Manager)
7. **Case #2015-08. Pulte Las Soleras Preliminary Subdivision Plat.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of Preliminary Subdivision Plat (77 lots) for Phase I (Units 1 and 2) of development associated with the Pulte Master Plan Amendment, General Plan Amendment, and Rezoning. Unit 1 of the subdivision is identified as “Traditional” development while Unit 2 is identified as “Age Targeted” gated development. The proposed subdivision is 30.9 acres with an average density of 2.49 units per acre. The Preliminary Subdivision Plat also includes a variance request for disturbance of 30 percent and greater slopes and an innovative street design. (Zach Thomas, Case Manager)

## **G. STAFF COMMUNICATIONS**

## **H. MATTERS FROM THE COMMISSION**

## **I. ADJOURNMENT**

### **NOTES:**

- 1) Procedures in front of the Planning Commission are governed by the City of Santa Fe Rules & Procedures for City Committees, adopted by resolution of the Governing Body of the City of Santa Fe, as the same may be amended from time to time (Committee Rules), and by Roberts Rules of Order (Roberts Rules). In the event of a conflict between the Committee Rules and Roberts Rules, the Committee Rules control.
- 2) New Mexico law requires the following administrative procedures to be followed by zoning boards conducting “quasi-judicial” hearings. By law, any contact of Planning Commission members by applicants, interested parties or the general public concerning any development review application pending before the Commission, except by public testimony at Planning Commission meetings, is generally prohibited. In “quasi-judicial” hearings before zoning boards, all witnesses must be sworn in, under oath, prior to testimony and will be subject to reasonable cross examination. Witnesses have the right to have an attorney present at the hearing.
- 3) The agenda is subject to change at the discretion of the Planning Commission.  
**\*Persons with disabilities in need of special accommodations or the hearing impaired needing an interpreter please contact the City Clerk’s Office (955-6520) 5 days prior to the hearing date.**

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PLANNING COMMISSION MEETING  
Thursday, May 21, 2015**

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FINDINGS/CONCLUSIONS:	None	2
OLD BUSINESS	None	2
<u>NEW BUSINESS</u>		
<u>CASE #2014-119. ROSS'S PEAK FINAL SUBDIVISION PLAT. JAMES W. SIEBERT &amp; ASSOCIATES, AGENTS FOR ROSS' PEAK, LLC, REQUESTS APPROVAL OF A FINAL SUBDIVISION PLAT FOR 200 LOTS LOCATED ON 31.72 ACRES ON TRACTS 12 AND 13 IN LOS SOLERAS. TRACT 12 IS ZONED R-12 AND TRACT 13 IS ZONED R-6. THE TRACTS ARE LOCATED SOUTH OF THE GOVERNOR MILES AND RAILRUNNER ROAD INTERSECTION, IMMEDIATELY EAST OF THE ARROYO DE LOS CHAMISOS. THE PRELIMINARY SUBDIVISION PLAT WAS APPROVED BY THE PLANNING COMMISSION ON AUGUST 7, 2014</u>	Approved w/additional conditions	2-16
<u>CASE #2014-124. PULTE LAS SOLERAS GENERAL PLAN AMENDMENT. JAMES W. SIEBERT &amp; ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF A GENERAL PLAN AMENDMENT TO AMEND THE EXISTING GENERAL PLAN FUTURE LAND USE MAP DESIGNATIONS FOR 12.92 ACRES FROM HIGH DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL; 14.95 ACRES FROM MIXED USE TO LOW DENSITY RESIDENTIAL; AND 3.93 ACRES FROM MEDIUM DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL. THE PROPERTY IS CURRENTLY VACANT AND LOCATED WITHIN THE LAS SOLERAS MASTER PLAN</u>	Postponed to 06/18/15	16-44

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**CASE #2014-123.** PULTE LAS SOLERAS MASTER PLAN AMENDMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF AMENDMENTS TO THE LAS SOLERAS MASTER PLAN. AMENDMENTS INCLUDE: THE REALIGNMENT OF ROADS, RECONFIGURATION OF TRAILS AND REDUCTION OF ACTIVE PARK LAND AND THE RECONFIGURATION OF LAND TRACTS

Postponed to 06/18/15

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**CASE #2014-125.** PULTE LAS SOLERAS GENERAL PLAN AMENDMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS REZONING OF: 12.92 ACRES FROM R-021 (RESIDENTIAL - 21 UNITS PER ACRE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE); 14.95 ACRES FROM MU (MIXED-USE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE; AND 3.93 ACRES FROM R-12 (RESIDENTIAL - 12 UNITS PER ACRE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE). THE PROPERTY IS CURRENTLY VACANT AND LOCATED WITHIN THE LAS SOLERAS MASTER PLAN

Postponed to 06/18/15

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**CASE #2015-09.** PULTE LAS SOLERAS ELECTRICAL TRANSMISSION LINE RELOCATION. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL TO RELOCATE AN EXISTING 115 KV ELECTRICAL TRANSMISSION LINE WITHIN THE LAS SOLERAS MASTER PLAN AS PART OF THE GREATER PULTE GROUP MASTER PLAN AMENDMENT, GENERAL PLAN AMENDMENT, REZONE AND SUBDIVISION REQUEST. THE PROPOSED RELOCATION WILL FOLLOW THE FUTURE BECKNER ROAD REALIGNMENT

Postponed to 06/18/15

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**CASE #2014-126.** PULTE LAS SOLERAS LOT LINE ADJUSTMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF LOT LINE ADJUSTMENTS WITHIN THE LAS SOLERAS MASTER PLAN TO RECONFIGURE LAND TRACTS CONSISTENT WITH THE PROPOSED GENERAL PLAN AMENDMENT AND REZONING. THE PROPOSED LOT LINES COINCIDE WITH ANTICIPATED PHASING OF FUTURE SINGLE-FAMILY RESIDENTIAL SUBDIVISIONS

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**CASE #2015-08. PULTE LAS SOLERAS**  
**PRELIMINARY SUBDIVISION PLAT. JAMES**  
**W. SIEBERT & ASSOCIATES, AGENT FOR**  
**THE PULTE GROUP, REQUESTS APPROVAL**  
**OF PRELIMINARY SUBDIVISION PLAT**  
**(77 LOTS) FOR PHASE 1 (UNITS 1 AND 2) OF**  
**DEVELOPMENT ASSOCIATED WITH THE**  
**PULTE MASTER PLAN AMENDMENT, GENERAL**  
**PLAN AMENDMENT AND REZONING. UNIT 1**  
**OF THE SUBDIVISION IS IDENTIFIED AS**  
**“TRADITIONAL” DEVELOPMENT WHILE**  
**UNIT 2 IS IDENTIFIED AS “AGE TARGETED”**  
**GATED DEVELOPMENT. THE PROPOSED**  
**SUBDIVISION IS 30.9 ACRES WITH AN**  
**AVERAGE DENSITY OF 2.49 UNITS PER**  
**ACRE. THE PRELIMINARY SUBDIVISION PLAT**  
**ALSO INCLUDES A VARIANCE REQUEST FOR**  
**DISTURBANCE OF 30 PERCENT AND GREATER**  
**SLOPES AND AN INNOVATIVE STREET DESIGN**

**Postponed to 06/18/15**

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**MINUTES OF THE MEETING  
OF THE  
PLANNING COMMISSION  
May 21, 2015**

A regular meeting of the City of Santa Fe Planning Commission, was called to order by Chair Michael Harris, at approximately 6:00 p.m., on Thursday, May 21, 2015, in the City Council Chambers, City Hall, Santa Fe, New Mexico.

**A. ROLL CALL**

**MEMBERS PRESENT:**

Commissioner Michael Harris, Chair  
Commissioner Brian Patrick Gutierrez, Secretary  
Commissioner Vince Kadlubek  
Commissioner Piper Kapin  
Commissioner Lawrence Ortiz

**MEMBERS EXCUSED:**

Commissioner Renee Villarreal, Vice-Chair  
Commissioner Katharine Anne Chavez  
Commissioner John Padilla  
Commissioner Angela Schackel-Bordegary (Resigned )

**OTHERS PRESENT:**

Lisa Martinez, Director, Land Use Department  
Greg Smith, Director, Current Planning Division – Staff liaison  
Zachary Shandler, Assistant City Attorney  
Melessia Helberg, Stenographer

There was a quorum of the membership in attendance for the conducting of official business.

**B. PLEDGE OF ALLEGIANCE**

**C. APPROVAL OF AGENDA**

**MOTION:** Commissioner Kadlubek moved, seconded by Commissioner Kapin, to approve the Agenda as presented.

**VOTE:** The motion was approved unanimously on a voice vote, with Commissioners Gutierrez, Kadlubek, Kapin and Ortiz voting in favor of the motion and no one voting against [4-0].

**D. APPROVAL OF MINUTES AND FINDINGS/CONCLUSIONS**

**MINUTES: NONE**

**FINDINGS/CONCLUSIONS: NONE**

**E. OLD BUSINESS**

There was no Old Business.

**F. NEW BUSINESS**

1. **CASE #2014-119. ROSS'S PEAK FINAL SUBDIVISION PLAT. JAMES W. SIEBERT & ASSOCIATES, AGENTS FOR ROSS' PEAK, LLC, REQUESTS APPROVAL OF A FINAL SUBDIVISION PLAT FOR 200 LOTS LOCATED ON 31.72 ACRES ON TRACTS 12 AND 13 IN LOS SOLERAS. TRACT 12 IS ZONED R-12 AND TRACT 13 IS ZONED R-6. THE TRACTS ARE LOCATED SOUTH OF THE GOVERNOR MILES AND RAILRUNNER ROAD INTERSECTION, IMMEDIATELY EAST OF THE ARROYO DE LOS CHAMISOS. THE PRELIMINARY SUBDIVISION PLAT WAS APPROVED BY THE PLANNING COMMISSION ON AUGUST 7, 2014. (ZACH THOMAS, CASE MANAGER)**

A Memorandum dated May 6, 2015 for the May 21, 2015 Meeting, to the Planning Commission from Zach Thomas, Senior Planner, Current Planning Division, in this matter, is incorporated herewith to these minutes as Exhibit "1."

A copy of *Ross's Peak Final Subdivision Report prepared for Ross's Peak Ltd. Co.*, prepared by James W. Siebert & Assoc., Inc., dated December 29, 2014, is incorporated herewith to these minutes by reference, and copies are on file in the Land Use Department.

A copy of Final Plat & Construction Plans for Ross's Peak at Las Soleras, is incorporated herewith to these minutes by reference, and copies are on file in, and copies can be obtained from, the City of Santa Fe Land Use Department.

A copy of the Preliminary Plat Submittal for Las Soleras Residential, Santa Fe, New Mexico, is incorporated herewith to these minutes by reference, and copies are on file in, and copies can be obtained from, the City of Santa Fe Land Use Department.

### **Staff Presentation**

Zach Thomas presented information regarding this matter from the Staff Report which is in the Commission packet. Please see Exhibit "1," for specifics of this presentation.

### **Public Hearing**

#### **Presentation by the Applicant**

**John Mahoney, Developer of Ross's Peak, was sworn.** Mr. Mahoney said, as Mr. Thomas just said, they are here for Final Plat Approval, noting they have made a few revisions. He thanked the staff for working with them on the various changes they made, noting they came forward under the new Code and the Amended Code has since been adopted, so they worked out things as they moved forward.

Mr. Mahoney presented information using an enlarged drawing of the subject site. Mr. Mahoney said, "Previously in the Preliminary Plat 'these' three blocks were front loaded. And in response to one of the builder's requests to reach a price point, to bring a price point down with some attached product, we put some more attached 'here', but we didn't want to front load and have all garage doors on the street, so we reloaded it. So even though we attached it, it seems like intuitively we should have more density, but because of the alleys, we've lost a little density. That's the main change."

Mr. Mahoney continued, "The parking that was requested that we just found out about in the staff report last Friday, was some additional parking 'here.' And the Code doesn't require parking there, but it says the Planning Commission can request up to a half space per house. So this morning I met with staff, this afternoon with Jim Siebert and Mark Goodwin, our Engineer. We came up with a way to get a minimum of 12 spaces, and so we would like you to consider that."

Mr. Mahoney continued, "So, that said, we are in agreement with every staff recommendation and are requesting an amendment to the one, and I've got some language I can read you here in just a second. So on the second page of this, well actually there's a condition of approval back here somewhere. And the condition reads now, '*A condition of approval is recommended to require the residential street on Tract 13 to be developed at an adequate width to provide on-street parking at a ratio of one-half space per dwelling unit.*' And I request that we change that to read '*A condition of approval is recommended to require the residential street on Tract 13 to be developed in such a way as to provide a minimum of 12 on-street parking spaces subject to City Staff approval.*' It's on the last page of the conditions about halfway down the page, page 3 of 3, Exhibit A. That said, we ask for your approval and we stand for questions. I'm here obviously, Jim Siebert is here and our engineer is here."

### **Speaking to the Request**

**Steve Burns Chavez was sworn.** He said he is a landscape architect, and a resident of the south side of Nava Adé, and can look at the Las Soleras development from his back yard. He has been asked to provide some volunteer support to the Monte Sol Charter School.

Chair Harris said we are hearing Ross's Peak right now, and Mr. Chavez said he will be back in a while for the Pulte project.

### **The Public Testimony Portion of the Public Hearing was closed**

Commissioner Kapin said since the request is to change the parking to a flat number of spaces, how many spaces would there have been based on the ½ space per dwelling unit needed.

Mr. Smith said it would round up to 21 spaces total.

Chair Harris said he has questions about the phasing, grading plan and those kinds of things and asked Ms. Zaxus to step forward. He said in reading the minutes of the meeting in August when we did a preliminary that one of his concerns was on mass grading, noting the Applicant is showing a 6-year timeline for the subdivision. He asked in phasing, are we still anticipating that mass grading would occur.

Risana "R.B." Zaxus, Director, Technical Review Division, said, "No. Only each phase at a time is how we do that. There was a time when we used to issue permits for at risk grading and we don't do that any more. Only if they're going to be developing the infrastructure do we issue a permit for that grading for that phase.

Chair Harris said then they would have to grade the interim detention pond.

Ms. Zaxus said that is right, and any associated utilities to be constructed would have to be somewhat graded to get the down to the final elevation, but otherwise are restricted to the area they actually are developing.

Chair Harris noted that was referenced in the conditions of approval, and said he missed it on the preliminary consideration.

Chair Harris said he spoke with Zach Thomas on Monday and gave him a list of questions. He said one of the graphics he wanted to do had to do with the Trail Plan, particularly the Arroyo Chamiso Trail. He is unsure about the 20 foot platted trail easement, the Ross's Peak portion of the Arroyo Chamiso Trail, and had asked if staff had better graphics available.

Mr. Smith said he is unsure if that was done.

Chair Harris asked Mr. Siebert to be sworn so he can answer that question.

**Jim Siebert, 915 Mercer, Agent for the Pulte Group, was sworn.** Mr. Siebert presented information using the aforementioned enlarged drawing of the subject site. Mr. Siebert said Keith Wilson is also here tonight from the MPO, and can answer specific questions about the trails. He said, "So what's happening is the planned City Trail which I think people are calling the Arroyo Chamiso Trail, we come across about this point 'this point here.' It's being brought along, and this is a 10 ft. wide trail with a standard 20 foot easement. It is brought along Governor Miles, it comes down at 'this' point through the Park, 'this' is a private park, 'this' is land that is owned by Las Soleras. It comes down through 'here' through the Park, and then has a little diversion that takes it back.... 'this' is a parking area right here. It takes it into the parking area so people can walk down from the parking area to the trail. And then the trail, we haven't patched it out, but the trail continues on and there is a sewer line that is down into the future park of Las Soleras. It goes down to that point and stops at particular point. The other thing that happens, is it continues on and once again it's 10 foot wide trail, it continues on down in the right of way of Railrunner Road to the south end of Railrunner Road, and eventually it will be continued on. But the idea is that 'this' trail that comes down 'here' and stops at the sewer line would continue on through the Park and actually end up at Monte del Sol. Does that answer your question."

Chair Harris said he thinks so. He asked, in terms of the sequence of constructing the trail, if they will build all of that trail initially, saying he doesn't remember, and if it will go down to the sewer line.

Mr. Siebert said, "Initially what happens....the first phase, Railrunner Road has to be constructed, so 'this' section of the trail is constructed, 'this' section of the trail is constructed. Remind me John, does the one that goes through the park, is that part of Phase I as well, or not. So, this is Phase II of III that this will get constructed down to the Park."

Chair Harris asked Keith Wilson, MPO, if he has anticipated a schedule for the City's portion that goes from Santa Fe Place down to Governor Miles.

Mr. Wilson said there is no timeframe at this time. He said just to take a step back, part of the original Las Soleras Master Plan did not include the trail coming off the east side of the Arroyo. It had a trail by others on the west side which goes through about 10-15 different individual property owners. He said, "Since that was done, they have looked at the trail alignment, and really there is no feasible way of bringing this trail. The original concept was that it was going to continue on the east side of the arroyo through the car area on the north side of Governor Miles and come back around, but that's just not feasible, getting through the box culvert under Governor Miles. So, as part of this project, we managed to get the trail shifted to the west side and bring it up to the roundabout on Governor Miles."

Mr. Wilson continued, saying they have had some preliminary conversations with property owners on the north side of Governor Miles who have expressed interest about trying to develop over there. So we've had conversations about cutting the Arroyo Chamiso Trail through there, but nothing has come forward officially that allows that. He said what can happen in the short term, is the trail cuts through Nava Adé – if you're at Santa Fe Place, instead of crossing the bridge, if you're familiar with the Arroyo Chamiso Trail, to get to Santa Fe Place Mall to continue on the east side of the arroyo, there is trail that cuts through

the Nava Adé neighborhood and can get you to Governor Miles and then some routes with some minor on-road or widening of sidewalks that could get you through the southern portion of Nava Adé and then connect through that way. He said these are all contingent on things developing and occurring.

Chair Harris said he knew there were links that were missing which were always an issue. He said he guesses Mr. Wilson is saying that perhaps the City doesn't have the easements to make the connection you would like to make.

Mr. Wilson said that is correct at this time, but he envisions that the pieces that are being developed along the arroyo and Governor Miles will be the Arroyo Chamiso Trail alignment. Part of the overall alignment starts at Siringo, goes through Las Soleras under New Mexico #14 just south of the Walmart, the development there, and continues all the way out. He said when the Pavilion came in they were able to put parts of that trail under #599 and beyond. He said this is all about piecing it together when the opportunities come before us.

Commissioner Kadlubek said in one place we see reduction of lots from 204 to 200, and then on page 4 of Ross's Peak Final Subdivision Report under Development request, we see 199 residential lots. He asked which is correct.

Mr. Thomas said the number is 200, and the actual Plat is for 200.

Mr. Siebert said an emergency access is provided as required by City Code, and it was given a lot number and it isn't a buildable lot. He said there actually are 199 buildable lots.

Chair Harris said regarding the Dawson Survey, page 3 of 6, showing the subdivision it looks as if there is an offset to the platted trail easements. The public pedestrian trail easement is quite wide, and narrows to 20 feet behind 3 lots of the subdivision, but there is an offset to where the easements don't line up.

Mr. Siebert said, "What it is, the heavy black line is the current limits of Ross's Peak. There is a long narrow piece that wraps around and this is still owned by Las Soleras Development. So there is a 20 foot easement that comes through 'here,' for the trail, and then connects into the park. There is a gap 'here,' and the reason for the gap is that 'this' area between the trail and the park has a slope easement to it. So that is really a slope easement, that's what it is. The trail easement and the end of park do actually line up."

Chair Harris said he needs to confirm that with Mr. Thomas and Ms. Zaxus. He said he sees the slope easement, but he also sees the adjacent public pedestrian trail easement, but it's offset from the 20 foot trail easement.

Mr. Siebert said, "We'll verify that."

Chair Harris said it is a mechanical issue.

Mr. Thomas said, "There is also a condition of approval that ensures that the trail is designed prior to recordation, so there is a condition in there to ensure that happens."

Commissioner Kapin said going back for the request for a change to the spaces, he would like staff explanation for the reason it was at the ½ space per dwelling in the original conditions of approval. She asked if Land Use thinks the request is adequate for the density of the project. She asked the reason the ½ parking space per dwelling chosen as a condition originally. She asked Mr. Thomas's opinion in this regard.

Mr. Thomas said the Code allows the Commission to request up to ½ space per dwelling unit, in the event off-street parking isn't provided. That's the maximum within the Code that staff recommended, with an acknowledgment by staff that the Commission could choose to approve less. He said, "I think in this situation, the Applicant has presented a rationale or a reason why almost half the amount of parking would be appropriate based on the location of the roundabout and so forth, and the spacing of the existing street layout. Regarding an opinion, I might defer that to the Land Use Director, to be honest."

Commissioner Kapin said she can retract the request for an opinion.

Mr. Smith said, "My experience in Tierra Contenta and other subdivisions, including Las Acequias Subdivision on the north side of Airport Road there, is there are a number of subdivisions in the City where there are large clusters of lots with few or no curbside parking spaces for guest parking. The experience of the staff has been over the years that if you don't have a minimum of guest parking spaces available at the curbside, there are emergency and large vehicle access problems, especially during the evening hours in a neighborhood. And I would also note that staff regrets this issue was not identified at the preliminary plat stage. That was our error that we did not notice that deficiency at that point."

Commissioner Kadlubek said he is unclear about the staff recommendation for parking spaces, asked if 12 spaces is adequate for what's being requested.

Mr. Smith said the staffs' judgement is the closer to ½ and the closer to 21, the better it is in the long run with regard to having traffic and access work within the Subdivision. He said it doesn't take a variance process to reduce the number of spaces if the Commission is convinced by the Applicant that fewer than 20 spaces will provide for a safe access within the Subdivision.

Commissioner Kadlubek said it's a little difficult, from his vantage point, as to what would constitute safe and what would block emergency access, and asked Mr. Siebert his thoughts on 12 parking spaces and if that number is adequate.

Mr. Siebert said, "Let me tell you the constraint and how this issue came about. If you notice what we refer to as Tract 13, the long narrow tract. When they built the roundabout, Las Soleras donated the land for the roundabout to make the improvements to Governor Miles from Nava Adé to Cerrillos Road. What happened is that we had given a location to the engineer who was designing the roundabout that was a location we thought was appropriate, in terms of the future development of that southern tract. What happened is they built the roundabout much further to the east than we had directed them to do, which

ended up with a tract that was a long, narrow tract. The problem is once you put a road down the middle, the ideal thing is to double load it, so you have utilities on both sides of the road. And then we have additional setbacks that have been provided from Railrunner Road. So there are some serious constraints. The additional parking spaces.... we think that... every car will have a two-car garage and space for two cars in front, so there are 4 parking spaces in total. Certainly, some people turn the garage into storage, but there are two off-street parking spaces for every dwelling on that side of the development."

Chair Harris asked if they are providing modifications to the street profile, or if you were just asking for a lower number.

**Mark Goodwin, Engineer for the project, was sworn.** Mr. Goodwin said his firm did the engineering for the project. He said, "To get the 12 spaces in, we have to widen the street an additional 5 feet and shorten the planter strips from 6 feet to 5 feet."

Chair Harris asked which sheet of the plans he is referring to.

Mr. Goodwin said that is on Sheet #19.

Chair Harris said Sheet #19 shows a 42 foot right-of-way for Pico Rico.

Mr. Goodwin said it would become 47 feet and they would propose to take all out on the east side of the street because those lots have a little further depth. He said, "I'm also looking at taking that little park area down 'here,' the southeast corner, you'll see a knuckle there where they're providing a turnaround. I'm proposing to put a retaining wall in there so that I can gain a couple more spaces."

Chair Harris asked where is the reduction on the planter strip from 6 to 5.

Mr. Goodwin said that would be on the planter strip between the curb and the sidewalk, and Mr. Goodwin apologized saying it is from 5 feet to 4 feet on the west side.

Chair Harris said then all of this is on-street parking, and Mr. Goodwin said this is correct. Chair Harris said then we've widened the right-of-way and asked the reason we are calling it 12 spaces.

Mr. Goodwin said he put no spaces on the west side of the street and this adds the parking space on the east side, noting it isn't a symmetrical condition.

Chair Harris asked if he will stripe that area and Mr. Goodwin said they will stripe it to show the 12 spaces.

Chair Harris said then the 12 spaces would be the full length of Pico Rico.

Mr. Goodwin said he looked at trying to get some spaces in the hammerhead at the north end and there's a potential for getting two there.

Chair Harris said he could make the lots more shallow.

Mr. Goodwin said, "Right, I just didn't have time to detail that out."

Chair Harris said it would be possible to do parking on both sides of the street.

Mr. Goodwin said the lots on the west side of the street are 90 feet deep.

Chair Harris said he was speaking of the 4 lots at the end at the hammerhead.

Mr. Goodwin said they're 40 feet wide and he needs 18-20 feet for the driveway, so that leaves 20 feet which is one space.

Chair Harris said he was thinking they could widen the hammerhead so people could park on each side of the hammerhead.

Mr. Goodwin said it is considered in the driveways and he doesn't want people parking in front of that.

Mr. Shandler said, "For clarification for the Commission and for the audience, so the section is off-street visitor parking in family development, as follows: *'In a single family, residential development, which this is, depending on the size and layout of the development, and if driveways are located in such proximity to each other that adequate visitor parking is unavailable on the street the Planning Commission may require that additional visitor parking of up to ½ space per dwelling unit be accommodated within the development.'* So you have to look at the layout and the size, and that's the argument made, but it sounds like the floor is zero, and the ceiling is 21."

Mr. Smith said, "If it's the consensus of the Commission, a condition of approval would set a minimum of 12 spaces. Right after the approval, staff would address the issue and it would allow the staff to work with the engineer on the details of this."

Commissioner Ortiz said asked how much thought was given to putting a regular cul de sac at the southeast corner.

Mr. Goodwin said, "We are being directed to provide future access to those properties to the east, so that's basically a temporary turnaround condition."

Commissioner Gutierrez asked if there is any other parking in the Subdivision besides two in the garage and 2 in front of the house.

Mr. Goodwin said in Tract 12 there are many, although he doesn't know the exact count. He said if you go to page 19 you will see there is on-street parking on every street.

Chair Harris thanked Mr. Smith for his suggestion, noting it seems an appropriate solution, but he wants to wait to hear from the other Commissioners.

Chair Harris said John Romero, Traffic Engineer, was to have input on the road phasing plan and asked him to speak to that.

John Romero, Traffic Engineer, said he has a question regarding Las Soleras in general. He said, "Soon after the Preliminary Plat approval, the Las Soleras people gave me a complicated road phasing plan. And the whole purpose behind this was we didn't want to build a bunch of roads to the arroyos and make no connections. As far as Ross's Peak is concerned, as included in that phasing plan, we only need to build the Railrunner Road to its southern limit, and that would suffice for this development."

Chair Harris said then the phasing issue for you had only to do with the main arterial, Roadrunner Road.

Mr. Romero said, "All the roads. When Las Soleras came forward they had a Phase I, II and III, which they couldn't follow because of the different economic climate, I guess, may be the thing. So when they first came forward, the City allowed them to build a Phase IA along Cerrillos Road, and just build immediate access to Taco Bell, McDonald's, Starbuck's and all that type of stuff. But what we told them is before you get into any more substantial development, we need to figure out how and when we're going to build all our major roads, including our major arroyo crossings. So we've come to a pretty close consensus and they made a lot of progress on that. With Ross's Peak, it wasn't so much that I was worried about them needing to build more roads for Ross's Peak, I was just worried about them kicking the can down the road and not coming up with that phasing plan for us."

Chair Harris said so we'll talk more about the big picture phasing plan. He said he thought the condition was just specific to Ross's Peak.

Mr. Romero said, "No, it was the big picture one. And if I may, I would like to provide comment regarding parking. In my Staff Memo, we recommend placing parking along one side of all the streets, including Pico Rico. Our experience with parking is, even in areas with parking on one side of the street, it never seems to be enough. And what ends up happening is people don't park in the garage for one, or people end up being very possessive of the parking in front of their property. And what we get sometimes is people will deliberately park their cars in front of their property, not in their driveway so people won't take them up. All through Tierra Contenta we've had numerous issues with this. So in my opinion, doing anything less than parking on one side, I think we'll have parking problems on those streets if we aren't already having them. With parking, at one time people seemed to figure it out."

Chair Harris said then you are saying that we don't meet that standard, and there are some gaps.

Mr. Romero said the only one he noticed was at Pico Rico. The rest seem to have parking on one side, and Chair Harris said that is true except for the southern portion of Montano Aventura, adjacent to the last phase.

Mr. Romero said the back to back 30 feet, typical section, total 50 foot right-of-way, that's enough to sustain parking on one side.

Mr. Goodwin said he will strike it.

Chair Harris said then with the addition of Pico Rico, that would meet Mr. Romero's recommendations.

Mr. Romero said, "Exactly. My office doesn't do a parking number count, but what they have striped may not be the reality based on... I guess, not necessarily. I now realize the alley, so never mind. So yes, parking on one side is what I think is a minimum that we would want to achieve."

Chair Harris said, "In the conditions from staff, it refers us back to Mr. Berke's Memo, under the section for Technical Review, #12 and #13, refer to the Memo of January 16, 2015, in which Mr. Berke suggests that the street tree in the front of each individual lot, be tied into that lot's irrigation system." Chair Harris asked if that is what is truly being proposed, commenting he doesn't think this is a good idea. He thinks the street trees should be on a unified series of zones that ultimately are the responsibility of the homeowners association.

Ms. Zaxus said, "I think that's the correct way that should be done, and I noticed a note on the plan, I believe in the CC&R's (Covenants, Conditions and Restrictions) that recommended that be taken care of by the homeowners association. I think that's a better idea. Sometimes we've had some difficulties with trees. For example, in Tierra Contenta, they're behind a wall where people sort of feel disconnected from that tree and they were not maintained by the homeowners at all. So I think it's a better idea that the association takes care of that."

Chair Harris said there won't be a 100% survival rate, noting there is a significant number of trees and most homeowners are responsible, although the association would be more diligent in taking care of those trees. He just wanted to make sure we weren't going down that road.

Chair Harris said he was surprised at the statement in Ms. Siebert's report that there really are only 2-3 significant trees on the site currently, and Ms. Zaxus said she was surprised as well.

Chair Harris asked if significant trees are defined at 6-8 trees, pinon trees. He lives in that part of town and uses Governor Miles a lot and drives by the area a lot. He likes the lay of the land and the way the trees accentuate that. He said it seems we had more significant trees. He asked what the City has done to verify that's the case.

Ms. Zaxus said they didn't verify it, but they can do so.

Mr. Siebert said *junipers* don't qualify as significant trees. So the only thing they were looking at were *pinon* trees.

Chair Harris asked Mr. Siebert if he can provide the justification for the two 5 x 20 mailbox easements, one in parcel 2 and one adjacent to the park that won't be developed for some time. He said the size may be appropriate, but it is sequencing for the phasing plan. He asked how many lots are on parcel 2.

Mr. Siebert said there are approximately 42.

Chair Harris said there is one mailbox cluster for 42 homeowners at the turnaround area and that seems it could work, noting there are 160 homeowners on Tract 12A. He said the location appears that it would work very well in terms of the development of the subdivision due to the phasing. He said there are two issues: are the two sites enough, and the one on 12A won't be developed for 2-3 years down the road.

Mr. Siebert said, "You have a point in terms of the phasing. The mailboxes are in the vicinity of the park and that isn't going to develop until the latter phases. So I think we will have to come up with some kind of solution which is acceptable to the U.S. Postal Service, which is strictly their call. In terms of ganging the boxes, they like to have as many ganged together as possible, so when their guy gets out, he just does them all. And that's what we find dealing with the U.S. Postal Service. And you have a point regarding the phasing. We have to set up either some kind of temporary mailbox system, or permanent if we can talk the Postal Service into it."

Chair Harris said ideally, he would like to see two permanent mailbox sites in Tract 12A, just for the convenience of the homeowners, and Mr. Siebert said, "Sure. We can work on that."

Commissioner Gutierrez said the issue for Commissioner Schackel-Bordegary was the entrance to the trail, and he didn't see much more discussion on that. He asked if it stayed the same and if that was discussed.

Mr. Siebert said, "I did have an exhibit of this at one time, but there's several connections. There's a connection 'here,' the emergency access also serves as a trail connection. There is a trail... 'this' is from the interior of the subdivision. There's a trail connection 'here' to Railrunner Road. There's a trail connection 'here' to Railrunner Road. There's a trail connection on 'this' side to Railrunner Road. Another trail connection that goes to Governor Mills and a future bus stop 'there.' There is a trail connection 'here' that goes down into the park, and then you have the park itself, so we have added trail connections since the Preliminary Plat."

Chair Harris said so the Applicant is proposing to dedicate basically the west side of Railrunner Road for City maintenance of that landscaping strip that would wrap around and be on the north side of the subdivision, adjacent to Governor Mills, and asked Mr. Siebert to explain what he is proposing.

Mr. Siebert said, "We dropped that proposal. Initially the idea was that we end up with a 25 foot easement, part of it being in the right-of-way and part of it being on private land. And we thought it would be more appropriate for the City to go ahead and maintain the area between the trail and the fence. In the meantime, that is no longer the proposal. The homeowners association would do that."

Chair Harris said, regarding the CC&R's, the articles, he has submitted questions in writing to Mr. Shandler and he has responded to him. He said he wonders if it is appropriate for the Commission, as stated, for CC&R's to be reviewed and approved by the Land Use Department, saying it seems that may go too far, the approval side. He said the City wants to look at a couple of things to ensure that future buyers and owners who live in Ross's Peak and are members of the Association understand they have an obligation to maintain the common areas, noting there are 5 categories of common areas. He said we may want to discuss whether the City wants to approve a full packet of CC&R's and Articles of Incorporation.

Mr. Shandler said, "When something is submitted in the packet, the Commission is free to comment on that. In terms of approval, since these documents are enforced by private entities, to make a change to it you need the buy-in, and if you want to change a condition, you really need the applicant to accede to that, to agree to that, otherwise we're getting into a gray area of enforcement."

Chair Harris said that is the series of questions he addressed to Mr. Shandler in writing, but what he is asking now, is whether it is appropriate for this Commission to attach conditions of approval that state that CC&R's will be reviewed and approved by the Land Use Department. He said we do want to review them for certain things, one of which he has mentioned, and he read the language as stated: "*Number 9. All proposed covenants, conditions and restrictions, CC&R's, Homeowners Association documents and design guidelines shall be reviewed and approved by the Land Use Department.*" Chair Harris said, "It seems to me that perhaps, and I'm not an attorney, there's not an attorney sitting at this podium, this might put the City at a level they don't want to be."

Mr. Shandler said, "So staff has showed me a section of the Code 14-9.5(A)(2) Infrastructure Dedication, Completion and Guarantees, and it provides, '*All quasi-public infrastructure land designated for ownership and undivided interest, such as private roads and drainage facilities and common open space must be dedicated to and perpetually maintained by an owner's association or similar legal entity. An article of incorporation of by-laws for the owner's association, along with a declaration of restrictions and covenants must be submitted for review and approval by the City Attorney.*'"

Chair Harris said he isn't saying it isn't appropriate, but that it's such a broad statement, we're really only reviewing them. He said, "You're not approving design guidelines, I don't believe."

Mr. Smith said, "The practice is very well established in the subdivision review process that the City Engineer and the City Attorney will look at the CC&R's only to the extent that they are relevant to the perpetual maintenance of the quasi public infrastructure."

Chair Harris said, "I would have no problem with that language if that is the way it was stated in the conditions of approval that we are considering."

Mr. Smith said, "If the Commission wishes to have reference to that Subsection 14-9.5(A)(2), that would clarify that for the record."

Chair Harris said that would be appropriate.

Chair Harris said the covenants provide that the Board will change at 50% of buildout, but the articles say 67%.

Mr. Mahoney said, "It's an oversight, it will be 67%."

Chair Harris said then you would go to 67% and Mr. Mahoney said yes.

Chair Harris said the other reference that is provided is to make sure that future homeowners are aware of their obligation as a member of the Association to maintain those. And I think that's clearly identified in the documents. He said, "What I'm asking about is how does the City ensure.... is it this Letter of Credit, is it the HOA Act. How does the City ensure that the Declarant will follow through and provide all common areas at a suitable level and that there is funding initially to carry on. And particularly.... okay.... particularly when I read that the Declarant shall be exempt from the obligation to pay assessments that would otherwise be attributed to the lots with the subdivision that are owned by the Declarant. The Declarant shall have the option to contribute to the association in accordance with 517. 517 just gives you, it says, you may fund, you know, the association prior to the transition time. Again, I didn't read every word, but what do you propose Mr. Mahoney in order to satisfy the Commission that we'd have... maybe, again the Letter of Credit on all the facilities. Maybe that is held by the City. Mr. Smith you could answer that perhaps."

Mr. Smith said, "When the Final Plat is recorded, all of the quasi-public infrastructure is subject to a financial guarantee of completion. All requirements of public infrastructure are inspected by the City and the public infrastructure is formally accepted. The privately owned quasi-public infrastructure such as private sidewalks, private drainage areas are inspected and released, signed by City Inspectors before the financial guarantee is released. The financial guarantee is often released in phases as each phase of the subdivision is completed and a drainage pond for a particular section is released, for example. The portion of the financial guarantee that is typically retained by the City is for an establishment period for landscaped areas."

Chair Harris said, "Okay. So the City, again, with the financial guarantee is how you would ensure that, and not just.... Mr. Mahoney I hope you know that I'm not just directing this to you personally, it's just a broader question about, is there a gap. It doesn't sound like there's perhaps a gap, since Mr. Smith described a procedure that seemed to ensure that the homeowners would end up with something that would not be burdensome."

Mr. Smith said, "It's staff's opinion that the established practice is very effective in preventing that type of problem."

Chair Harris asked if Mr. Mahoney would like to add that.

Mr. Mahoney said, "Well I would. First of all I don't take it personally. In reality, all of those quasi-public improvements which we're discussing, which is about \$600,000 worth of landscaping is something that we resist on one hand, because you divide that by 200 lots, it's a pretty substantial cost per home. On the other hand, it's an amenity and it makes the homes sell faster. If the homes sell faster, the lots sell

faster, and so we want to provide an amenity. And also, this is something I'm looking at for Ross's Peak which is totally separate from Las Soleras. This is the first residential development that's going to happen in Las Soleras. And our intent and commitment is to make this a little nicer than what you're used to seeing in Santa Fe. So, although we've struggled with how do we afford all this and work with staff on requirements they've asked for, we also know that it is an amenity and it sets the standard."

Mr. Mahoney continued, "So now, the question is, first of all that we complete it, and I think Greg has answered that. How do we maintain it. We have a budget that we provide that goes to our builders, here's what each homeowner is going to pay to maintain this. And it's in the association that if people don't pay it, they get liened, eventually it gets caught up and you always have a line in the budget for people who don't pay or who are paying later, or whatever, you have to cover that, and you do that based on experience. You hope you're right."

Mr. Mahoney continued, "A couple of other things I can add. Oftentimes, the homeowners association, when you get to 68% and they take it over, they always say what do you mean we have to maintain all this. Nobody ever told us that. No matter how many times you read it and how many times they had to sign it and so on. It's a process and it's the development process. And if you're going to be successful with it, you have to do it, and you have to do it right, because if you don't, you're not successful and also it's a lot more work to go back and straighten it out later."

Chair Harris thanked Mr. Mahoney and thinks that's a good answer, noting he looked at their landscape plan and it is significant and believes it will be a real plus for the subdivision. He asked Mr. Mahoney if he knows how the HOA Act reads on this matter.

Mr. Mahoney said he can't tell him from memory.

Chair Harris said, "It's fine. I'm satisfied. Thank you."

**MOTION:** Commissioner Kapin moved, seconded by Commissioner Gutierrez, to approve Case #2014-119, Ross's Peak Final Subdivision Plat, with all conditions of approval as set out in the Staff Report [Exhibit "1"], and with the agreement for the 12 parking spaces, and that the road be modified for continuous parking along the east side of Tract 13.

**VOTE:** The motion was approved on the following Roll Call vote [4-0]:

**For:** Commissioner Gutierrez, Commissioner Kadlubek, Commissioner Kapin and Commissioner Ortiz.

2. **CASE #2014-124. PULTE LAS SOLERAS GENERAL PLAN AMENDMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF A GENERAL PLAN AMENDMENT TO AMEND THE EXISTING GENERAL PLAN FUTURE LAND USE MAP DESIGNATIONS FOR 12.92 ACRES FROM HIGH DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL; 14.95 ACRES FROM MIXED USE TO LOW DENSITY RESIDENTIAL; AND 3.93 ACRES FROM MEDIUM DENSITY RESIDENTIAL TO LOW DENSITY RESIDENTIAL. THE PROPERTY IS CURRENTLY VACANT AND LOCATED WITHIN THE LAS SOLERAS MASTER PLAN (ZACH THOMAS, CASE MANAGER)**

*Items F(2), F(3), F(4), F(5), F(6) and F(7), were combined for the purpose of presentation, discussion and public hearing, but will be voted upon separately.*

A Memorandum dated May 14, 2015 for the May 21, 2015 Meeting, to the Planning Commission from Zach Thomas, Senior Planner, Current Planning Division, in this matter, is incorporated herewith to these minutes as Exhibit "2." *Note:* Exhibit F to the Staff Report [Exhibit "2"] is incorporated herewith to these minutes by reference and is on file in, and copies can be obtained from, the City of Santa Fe Land Use Department.

A slide presentation *Las Soleras: Pulte History and Strategy – Market Intelligence*, dated May 2015, prepared by the Pulte Group, entered for the record by Jim Siebert, is incorporated herewith to these minutes as Exhibit "3."

A Memorandum dated May 21, 2015, with attachments, to the Planning Commission from the Current Planning Division, regarding Additional Information is incorporated herewith to these minutes as Exhibit "4."

A copy of *Summary of Undeveloped High-Density Residential Parcels*, dated 02/07/15, entered for the record by staff is incorporated herewith to these minutes as Exhibit "5."

A copy of the *Nava Adé HOA Board of Directors Statement: Planning Commission*, with attached Las Soleras General Plan/2003, dated May 21, 2015, presented by Kim Wylie and entered for the record by Kim Wylie, is incorporated herewith to these minutes as Exhibit "6."

A copy of Nava Adé Homeowners Association Board of Directors *Response to Pulte Group's Proposed Las Soleras General Plan Amendments and Subdivision Plan*, dated May 2015, is incorporated herewith to these minutes as Exhibit "7."

A copy of *Pulte at Las Soleras Rezoning Report prepared for The Pulte Group*, prepared by James W. Siebert & Assoc., Inc., dated December 29, 2014, is incorporated herewith to these minutes by reference, and copies are on file in, and can be obtained from, the City of Santa Fe Land Use Department.

Mr. Thomas said the overhead projector is unavailable because of the thunderstorm that burned out much of the equipment.

Chair Harris asked what was the expectation on behalf of the staff and Applicant to show the presentation graphically on the screen.

Mr. Smith said, "On behalf of staff, we did not plan to display any exhibits. My understanding is that the Applicant intends doing its presentation to project images on the screen directly behind me."

Chair Harris asked Mr. Smith if it makes sense to talk about the General Plan Amendment, the Master Plan Amendment and the Rezoning as a group, along with the Lot Line Adjustment, and then the Preliminary Subdivision Plat, or should we just "discuss it one fell swoop."

Mr. Smith said they have not divided it into two separate presentations, noting that an individual motion and vote will be required for each of the individually listed actions that are before the Commission tonight.

Mr. Smith said, "The staff presentation will begin with a brief summary by myself, and then we will proceed with a more detailed analysis by Mr. Thomas."

Mr. Smith continued, "The Plan you have before you this evening has implications for policy issues that range beyond the limits of the Subdivision, and in fact extend City-wide. As we discussed in the orientation for the new Commission, which the Chair attended, in which we tried to, as with the other Commissioners in the past, we are encouraging the Commission to make these decisions on a large scale basis. Not that some of the details are not important, but that the important aspects of the decisions to approve or deny for the most part are these larger scale issues. We do encourage the Commissioners to give the greatest weight to City-wide and community-wide policy concerns. This is not to say that the [inaudible] specific to the neighborhood level or to the developer's particular concerns are not important, but especially at the general plan and rezoning stage the City-wide impacts are those that are the most important for the Commissioners' decision."

Mr. Smith continued, "We involve every level of detail here from the general plan amendment level all the way to the preliminary subdivision plat. To the extent that there are concerns with the detail level, I would encourage the Commissioners to get it from the higher level of detail to the lower of detail, and that sequence leaves the details to the end of the discussion and questioning period which would be preferable. Specifically, where there are potential concerns of a larger scale, the change out of multi-family housing for single-family housing and a reduction of the overall number of houses that are provided in this area have significant impacts on the character not just of the master plan area but also potentially City-wide. The City does not have clearly established policies with regard to these housing issues, in part because it dates back to 1999. We do have staff from the Housing Office available if the Commissioners do have questions on that issue. We have distributed a summary of the amount of multi-family land that is available for development within the City limits [Exhibit "5"] and in other master planned areas."

Mr. Smith continued, "The other issue to emphasize for the Commissioners' consideration is that all of the general plan policies of the City as last comprehensively overhauled in 1999, which I guess [inaudible] at this point, but I would remind the Commission that the Commission and City Council, the developers [inaudible] on these policy issues related specifically to the master plan area when this Master Plan was created and adopted in 2005. To the extent that the General Plan and Rezoning level decisions are significant here, it's clear that the Applicant has the responsibility to demonstrate to the Commission that the public interest is better served by the new zoning classifications than by the old zoning classifications. And that the City and the developer both have relied over the years on the approval of that Master Plan for creation of the type and scale of neighborhood that was intended when the City first approved the project in 2005. Having said that, staff recommends that no master plan is cast in concrete. Staff is not suggesting that it would not be appropriate to make changes to the plan. We're suggesting the decision should be based on a determination of not which is in the interest of the developer, but also which is in the best interest of the neighborhood and community as a whole. And Chairman and Commissioners with that, I think we'll proceed with Mr. Thomas's presentation.

Chair Harris said, "In light of your comments, I just want to acknowledge that I think the Commissioners understand the importance of what is front of us. I think we also understand the complexity and also understand that it's going to take more than one session to resolve this. I think perhaps that is the feeling of the group. But we should start and start looking at some of the issues. Mr. Thomas."

Zach Thomas noted the handout this evening containing the ENN notes for the May 11<sup>th</sup> meeting which were not in the initial packet, and the public comments submitted after the "drop dead" date for publication and duplicating of the report [Exhibit "4"]. This represents everything received by staff until 4:00 p.m. this afternoon.

Zach Thomas presented the Staff Report in this case. Please see Exhibit "2," for specifics of this presentation.

### **Public Hearing**

#### **Presentation by the Applicant**

*All those presenting were sworn en masse*

Mr. Siebert said the entire team will be sworn at the same time, and introduced the team: Garrett Price, Vice-President, Pulte Group; Kevin Patton, Director of Development, Pulte and a professional engineer; Fred Arfman, Professional Engineer; and Terry Brown, Traffic Engineer.

Chair Harris asked if the slide presentation be printed out and available to the Commission.

Mr. Siebert said yes, noting he will send it to Mr. Shandler or Mr. Thomas who can then email it to the members of the Commission.

**Garrett Price [previously sworn]**, presented information via slide presentation regarding The Pulte Group and the reasons for their choices in the proposed project. Please see Exhibit "3," for specifics of this presentation.

**James Siebert, [previously sworn]**, presented information via slide presentation, regarding the relationship with Las Soleras and how it affects Las Soleras. Mr. Siebert said he is going to talk about 4 issues: the realignment of the roads; the reconfiguration of the trail system, the reduction in active park or Condition No. 45 on the Annexation Master Plan; and the reconfiguration of land tracts as the result of the rezoning of the parcels. Please see Exhibit "3," for specifics of this presentation.

**Fred Arfman, Isaacson & Arfman [previously sworn]**, presented information regarding the justification for the narrower streets being proposed via slide presentation. Please see Exhibit "3," for specifics of this presentation.

**James Siebert, [previously sworn]**, continued with the wrap-up of the presentation information via slide presentation. Please see Exhibit "3," for specifics of this presentation.

### **Speaking to the Request**

*All those speaking to the request were sworn en masse  
Chair Harris asked people to be mindful that other people want to speak and what has been said*

**Kim Wylie, 4263 River Song Lane in Nava Adé, President of the Nava Adé HOA Association [previously sworn]**. Ms. Wylie thanked the Commission for the opportunity to share their position on the cases before the Commission. Ms. Wylie read a portion of the Nava Adé HOA Board of Directors Statement into the record. Please see Exhibit "6," for the text of this Statement. Ms. Wylie said Mr. Lang will now cover additional portions of their Statement

**Richard Lange [previously sworn]**. Mr. Lange said he headed up an *ad hoc* committee on Las Soleras. He is a resident of Nava Adé. He said Nava Adé knew that our road was to provide part of the network for the flow of traffic through all of Las Soleras with its two primary arterials. Mr. Lange reviewed the five (5) recommendations made by the Nava Adé HOA on pages 2 and 3 of their Statement, and read those into the record. Please see Exhibit "6," for the text of these recommendations.

**Wendy Leighton, homeowner and resident of Nava Adé , as well as a teacher at Monte del Sol Charter School [previously sworn]**. Ms Layton said, "I believe in my heart that you will decide what is best for our community. I have served Santa Fe for more than 22 years as a teacher, coach and mentor to our youth. The youth are the future, the next generation. We face great challenges in our society. We must work together to solve these conflicts, problems we face, such as climate changes, rebuilding our education system, fixing income equality and bridging the gap between our younger and older generations.

Years ago, the Council and Nava Adé homeowners relied in aligning a 20 acre active park bordering Monte del Sol Charter School."

Ms. Leighton continued, "Our children need a place to play, picnic, come together and participate in sports during and after school. They need support from adults and opportunities to be active. As I mentioned, I am a homeowner in Nava Adé and I have lived there for 15 years. I am also a founding faculty member and teacher at Monte del Sol Charter School. This park would transform our community and have a positive impact on our neighbors. A playground, soccer field and picnic area are all good things. Places for us all to come together. I know as an experienced educator if there was a park in place for our students and young people to go, they would be there playing, having fun and getting physical exercise. Neighbors could walk their dogs, have picnics, play games together, bird watch and host family gatherings. We could build relationships. Perhaps neighbors would inspired as they got to know the school better, to get involved in our community garden and our mentorship program. The park needs to better the school so that students are able to participate during school hours."

Ms. Leighton continued, "Teachers and students have limited time and resources to travel to and from places during the school day, even if it's a 10 minute walk. Approved Condition 45 places the Park in an ideal location as it would be between Monte del Sol, the proposed new school and a 10-acres plan site. Students would be less likely to wander through the neighborhoods and get into trouble if they have a place to play and a safe outlet for physical activity during the school day, especially since we are moving to a closed campus next year. Please consider honoring the original agreement and support our youth. They had their heart set on the idea of a beautifully landscaped City park. Our youth in our community are no less valuable than economic development. Than you."

**Brett Frauenglass, President, Governing Board, Monte del Sol Charter School [previously sworn]**, said he sent letter on behalf of the Board of Monte del Sol, and staff acknowledged the letter was received and included in the packet [Exhibit "2"]. Mr. Frauenglass said he won't cover all 4 points in the letter. He said charter schools have governing boards composed of 9-10 members that are volunteers, noting he spends up to 20 hours as the President of the Governing Board. School, noting the Board has a lot of other responsibilities. He said the letter is representative of some measures they voted on as a Board, so they are fully represented by the letter. He said, "My own points that I would like to emphasize have to do with Condition No. 45. The Santa Fe Public Schools was to be consulted according to the way that condition was written. At the time, Monte del Sol was a part of Santa Fe Public Schools. We have since become a State Charter Schools and that was in the cards through all of our participation in this process."

Mr. Frauenglass continued, "What has happened is there has been a division of meetings where the Santa Fe Public Schools has met with developers and Monte has met with developers. The two visions haven't coincided and we haven't necessarily been appeased at the Charter School. Why should we be appeased. Why should our demands be listed to. When that originally happened, obviously we were adjacent to what was proposed, so very clearly it wasn't Santa Fe Public Schools alone. It was related to Monte del Sol Charter School. And I would like you to really consider that we do have a strong voice in this. We are a community of about 400 families, similar to the adjacent surrounding development that exists there now. We come and go, but we are very involved and engaged in that school."

Mr. Fruenglass continued, "My second point is about the road network. I've been involved on the Board for 6 years, President for 3 years, but always involved in the building committee. I'm an architect and I work for the City of Albuquerque, reviewing developments very much like the one before you tonight. I think the proposed network reflects a series of compromises that are primarily addressing the needs of the surrounding homeowners which is completely appropriate. It's just that Monte del Sol was not really addressed with that street network. What we need is direct connectivity so that the alternative access is more desirable than the current access, and I think that was always there in the original master plan, a direct connection to Beckner that was straight that was shown as a dashed line, that actually wasn't shown on the diagram shown earlier on your screen. The just left that off, and they've combined several roads into a circuitous pathway from Beckner, so the secondary access is still going to be attractive. It's actually, in my opinion, not going to help as much as more direct access would."

Mr. Fruenglass continued, "Okay, Pulte has to build somewhere. I think they have a wonderful product. I've toured the homes myself, but I don't feel this is an appropriate rendition of a Pulte development. I think there's too many compromises associated with the community that we have at Monte del Sol."

**Dr. Robert Jesson, 4224 Cactus Flower Lane, Nava Adé [previously sworn]**, said he is the Head Learner at Monte del Sol Charter School, and formerly the Chair of Liberal Arts and Inter-Disciplinary Studies at the College of Santa Fe, with a major focus on environmental policy. He said, "I would like to address some more macro aspects. I would like to congratulate Pulte on becoming the largest provider of homes in the United States. The thing about getting big is you have a lot of momentum, and that reminds me of the Exxon Valdez oil tanker. We had Earth Day just a while ago at Monte del Sol and told all of our students that when they are my age it will be 2052. And we had just watched a movie that explained how in 2048, we're scheduled for a total ocean collapse. So it isn't the time to keep doing business as usual. The style of homes Pulte builds are low density which also can be called sprawl. He said the Commissioners earlier had a wiser plan in terms of how to develop Santa Fe to be the City different. I liked how Jim Siebert said they have a scientific plan, but it's a scientific plan that only studies the market. And if we did only what the market told us to do, then every City in the United States would look like Houston. We need intelligent, wise planning to build the communities that we want here. If we follow the market, we see that Santa Fe is aging, so we should build homes for more elderly folks, so that even more elderly folks will move to Santa Fe and we'll get progressively older and older."

Dr. Jesson continued, "Wendy talked eloquently about our mentorship program. We try to connect our students. Each student has to take two mentorships to graduate. We connect them with professionals in the community throughout Santa Fe. We worked last year with the Santa Fe Institute to measure the impact of those size of connections in something called social capital. And that type of connection is critical to making a community. Having a specific neighborhood designed only for 55 and older, isn't the kind of community that will keep Santa Fe vibrant in future years. We need communities that will attract families, and those are communities which actually have active parks."

Dr. Jesson continued saying Jim Siebert spoke with him in the fall about their plans, and it was striking that he never mentioned even once Condition 45 or the park around Monte del Sol or the park. He said, "It's the market approach to produce homes people like, whether or not they live in Santa Fe, or like homes that will be good for the future I think is the question."

**George Brown, parent of a student at Monte del Sol, as well as on the Governing Board [previously sworn]**, said he wants to be one of those families that represents the interests for the need for an adequately sized park adjacent to Monte del Sol for the kids to use. He said what's being suggested by Pulte in reducing the acreage by more than ½ and acreage at distance to the schools is not in the public interest and certainly not in the long term interest or what the master had in mind for service the needs of the School area. He asked the Commissioners to vote no on that amendment.

**Becky Stamm, 4136 Soaring Eagle Lane [previously sworn]**, said she has lived in the neighborhood for 14 years. She said her father Allen Stamm, was a builder of quality homes. She showed him the place where she bought her first home and he loved Nava Adé, how it was designed and supported her in the purchase of her first home. She bought there because of the space behind her house. If she is going to lose that acreage as my playground, she might as well lose it to a reputable builder. She loves the picture of the old truck, commented it reminded her of her dad when he started his company in the 1950's. She is thrilled with their plan for developing the acreage behind her house. She is also a teacher, so she definitely supports the School needing an area where they can play sports and a place to gather. But it sounds like the builder is considering supplying that. She hopes the City sees the necessity for Monte del Sol to have access out and into the School toward Beckner, because of the horrendous traffic around 4:00 p.m.

**Kaduin Wilson, attends Monte del Sol Charter School [previously sworn]**. Miss Wilson said the park needs to happen not just for the kids, but for the entire community. She has participated in sports since the 7<sup>th</sup> grade, and her main issue is they don't have a place to practice any sports. She plays soccer and basketball, and since she started playing in the 8<sup>th</sup> grade they have to go all the way to the MRC which is 15 miles away. They have no buses so they all have to commute together. The park would make a lot of difference for the entire school. The Seniors this year, when they were in P.E., they had to walk all the way to the Chavez Center to have a place for P.E. and sports things, and that takes away from the community a lot. She thinks a park would be great, noting they will have a closed campus next year, and it will promote a positive place for the kids at the school to go in their free time and builds community. There is an amazing mentorship program, but it's hard to find a comfortable place to meet people and get integrated into the community and that would be a good way for that to happen.

**Angela Adams, Attorney and social worker [previously sworn]**. Ms. Adams said she also is, and most importantly, Katy's mom. She has spent 30 years working in child welfare at the State level, and now at the federal level. She asked the Commission to think of the future of Santa Fe in terms of the needs of our kids which really is the future of Santa Fe. Last year a report was issued by Kids Count, the

Children's Defense Fund, and New Mexico is the lowest in the nation in terms of outcomes for children. The report looks at health, educational outcomes, teen pregnancy rates and at safety, and our kids "are the worst in the nation." She said, "I would submit that Monte del Sol is a shining star in the community in terms of turning those demographics again, with a really success in terms of kids graduating. Most of their kids go on to higher education, noting 40% of its students are involved in sports, yet it has no facilities. They really have been counting on the park. Kids that participate in sports have lower rates of teen pregnancy, lower rates of substance abuse issues, and have higher success rates in terms of academics. She is part of the demographics in terms of the aging population. She thinks our job is to pay for our kids, and would ask the Commission to make that your priority when you make these decisions.

**Steve Burns-Chavez [previously sworn]**, said he has been a resident of Nava Adé for 15 years, and is a Landscape Architect, working for the National Park Service. His entire career has been associated with Parks and his primary concern is Condition 45. He designed *pro bono* the park in Nava Adé when it was built as well as the larger park that is not yet built. He said, "Mr. Siebert characterized Condition 45 as an afterthought with the City Council and it was late at night, so two additional acres were added. In fact, it was also done *ad hoc* for Las Soleras for the Nava Adé community. And at that time, the *ad hoc* Committee that was providing advice to the Board, advocated strongly for the original requirements in the General Plan which had the largest acreage of parks as well as concern for the open space and trails as part of Las Soleras. So, the Annexation Agreement in 2004 that the Applicant was asking for had a considerably lower amount of park acreage than what was in the general plan.... The slide shows the [inaudible] park around the entire south side of Nava Adé, and also around Monte del Sol which consumed the 5 acre open space that was in that block also. That was all approved in 2009."

Mr. Burns-Chavez continued, "So the issue of Condition 45 was essentially settled for the purposes of proceeding with the Las Soleras development and it did. So along Cerrillos we have quite a lot of Las Soleras that has been built, including the Veterans Clinic. And now I can talk about Ross's Peak which was approved and moved forward as a condition of Condition 45 being met. In December we had the ENN meeting for the Pulte project, and in that ENN meeting, it was brought up before, Condition 45 vanished. It disappeared, there was no discussion, no 20 acre park, it was just gone, and then 10 days ago, because City Staff had informed the Las Soleras development that 'you have to address Condition 45 and the 20 acres of park.' And so, 10 days ago, another ENN was had to address Condition 45 and the disposition of the 20 acres. It's been 10 days from the feedback and the resolution, and here we are before the Planning Commission, and the resolution of where the 20 acres is, is still apparently being decided or being addressed. That was supposed to have been addressed and decided before any movement was proceeded forward with Las Soleras which has already happened. In effect the game is changing in the middle of the effort and the 20 acres is relative to the entire Las Soleras project, not just the Pulte project.

Mr. Burns-Chavez continued, "And I testified to the Planning Commission in 2009 on Condition 45. My house backs on Las Soleras, so I'm looking at it from my back yard. And I know the area directly behind me very well, and it is characterized that there's a really steep slope that's not really a good place for a school or park. Well, that's not really accurate. It slopes down toward Nava Adé, but on the south on this 20 acre block that was approved in 2009 by the Planning Commission for the location of the park is

ideally suited, because that's the flat area with the least amount of *pinon* and *juniper*. It's the best place for a park and school. I would assume that's why that area was identified as the ideal location for park."

Mr. Burns-Chavez continued, "The other thing really I think that is valuable consideration for the Planning Commission in terms of land use for the location of the 20 acre location, is that the location that was approved in 2009 is not only ideally suited in terms of terrain and grading, but also was dependant on or assumed, I guess, a connection between the proposed school site which is in Tract 14 which is identified as institutional, so that's where the school was to be located at that time. And so we have kind of anchored on two sides of that block, Monte del Sol School and a proposed school with the park connecting both of them. So that makes a tremendous amount of logic just in terms of land use and designing a park. There are clearly some rational arguments that the Applicant has made for connecting the park to the existing regional park, however this really important connection gets totally lost. And I think the really important point is what is in fact a reduction of the requirement for 20 acres by suggesting that the school site which was already in the yellow Tract 14, that acreage of the 10 acres is somehow absorbed for the park because they're including the 10 acres as part of that 20 acres. And I think the more honest characterization of the requirement is 20 acres of active park, not 10 acres of active park, or 5 acres of active park added on and maybe some open space and then a school site. The school site I think would be rationally considered a totally separate issue than the 20 acres of park."

Mr. Burns-Chavez said, "The last point I want to make, is because I am a resident of Nava Adé and I fully appreciate our Board and the work they do, all volunteer. It's work that gets no recognition and it's hard work. And for almost everything that the Board has proposed, I'm in total agreement with, but I have to completely part ways with their proposal to support Condition 45 as it's addressed by the Applicant and where the park is going to be. And there are a couple of reasons that should be of concern, concerning the idea that the Board is really representing the community of Nava Adé. The first is that there was really no forum for input by the community into the recommendations that came before the Board. Primarily, those recommendations represent the members of the Board and one person, one resident, who they asked to provide input. So the rest of the community really wasn't asked to review, to come to any meeting to provide any input, including those who have some expertise in this field, or have some history in this. So I think it's important to point out that not all of their positions really represent the community at Nava Adé."

Mr. Burns-Chavez continued, "And I think to really illustrate that point in a very graphic way.... because another thing that was expressed in writing by the Board was that the residents of the south side of Nava Adé, the ones that are most affected by Las Soleras and the issue of Condition 45 and the park where it's located don't want a park there. That is simply not true. And in fact, it was Nava Adé that was a proponent of having this park as part of the 2004 testimony for the Las Soleras development. And just to illustrate graphically how incorrect that is, I only had a couple of evenings, I walked my street and I had a petition on the location of the park and I asked people if they were interested to support the park as approved in 2009 by the Planning Commission, that 20 acres along the south side of Nava Adé. And, in overwhelming numbers, this is the list from just down my street on the south side of Nava Adé, the residents were completely in support of what I have in this petition and the park as it was approved in

2009. I think that speaks loudly... if that's even representative of the rest of the community it's pretty overwhelmingly in support of the park as the Planning Commission approved it on the south side of Nava Adé in 2009."

Mr. Burns-Chavez continued, "That's my recommendation or request from the Planning Commission then, that the original park location approved in 2009 which was never addressed in any alternative or any scheme whatsoever by the Pulte developers be held up as part of the planning requirement as it was identified in Condition 45 before any further forward progress on any plat or subdivisions were made as a part of Las Soleras, and they not be allowed to, kind of in the middle of the stream, completely change directions. Thank you."

**Alfred Lujan, teacher/coach at Monte del Sol was sworn.** Mr. Lujan said he resided in Nava Adé 2001-2005, saying when he moved there it was all llano just like it was in the old day. He said we are accustomed to wide open spaces. He said one of the reasons he moved from Nava Adé is because the area became closed off, the vistas disappeared. He represents Northern New Mexico, saying his family has been here for generations and generations, and appreciates the open spaces. He said, "As a Coach, and Athletic Director I have been fortunate to have worked in schools where our children walk out of school and are adjacent to a playing field or gymnasium or somewhere they can be active." He said our children are enclosed in an area just slightly bigger than this room for physical activities. If they go outside, they have to go through the Nava Adé for runs and such, and right there is no room for our kids to really exercise. He said as has been stated, our children are our future, and if they don't exercise they don't develop fully. It is important for the students to be able to exercise to participate in athletics and physical activity in a phase within minutes that is welcoming to them, without having to take them to the Chavez Center or Santa Fe Community College or the MRC or Ft. Marcy.

Mr. Lujan said he has a petition that says, "We want a park by the schools," and the emphasis is by our school, so proximity is really important. He supports what the previous gentleman says, which is our appeal to ask you to honor the original agreement in 2009 to place the park adjacent to the School and to keep it as 20 acres as originally proposed. Thank you."

**Frank Nordstrum, 4204 Cactus Flower, resident of Nava Adé [previously sworn],** said no one talked to him about signing the petition and wishes they had. He also is on the Board of Nava Adé, noting he was an educator for 27 years in Santa Fe, finishing as the Assistant Superintendent. Following that, he worked for a Pueblo School for 10 years, so he knows the value of parks, play and sports activities for children. His belief about the park situation, relates to his 27 years with the Public Schools in Santa Fe, doing a lot of work and planning, land development for the City Schools. He said, "In my history, at least, the City never built a park for one of our schools in Santa Fe. Developers would occasionally donate land where or the City would help us get land for a school site. But when it came time to develop our playgrounds and our sports facilities and those things, the public, the taxpayer through bond issues took care of that. The City never did that."

Mr. Nordstrum continued, "It seems to me, and I don't know of any private school in Santa Fe where the City built a park with the kinds of things these parents are expecting for their kids to have. It's not that they shouldn't have it, don't misunderstand me, it's just not the way things have been done. And it doesn't mean something like that couldn't be done now, it's just highly unusual. And for others in the community to create the expectation for the parents that, if they get this land, the City is going to come in and spend millions on developing the sports facilities that these kids deserve. Look at the recent history the City has had with its parks situation. It's not very likely. I wish them well, but I support Pulte's disbursement of the acreage. If you think of it a regional park, as originally proposed, a regional park to me is for people in the area. There's 500 acres of people in the area that could have access to that park and would use the park if it is located and disbursed as Pulte has proposed, in my view. Thank you for your time."

**Beverly Jimmerson, 4133 Siring Eagle Lane, member, Board of Nava Adé [previously sworn].** Ms. Jimmerson said, "Just because I'm curious right now, and we can all assume that anybody who stuck through this, this long, is really interested in the issue. How many people here live in Nava Adé."

Chair Harris asked Ms. Jimmerson to address her statement to the Commission saying "That does work well for use."

Ms. Jimmerson said, "I apologize. On behalf of the Board, I would like to speak in two voices, one on the Board and one as a resident. On behalf of the board, we contest some things in your Staff Report. In particular, the negative impacts listed on page 3. We contest that, 'The project would reduce the diversity of housing types in Las Soleras.' All housing types or tracts specifically zoned for low, medium, high density and mixed use still exist, even if the Pulte request for rezoning of approximately 32 acres is approved. It is stated that 'the project would replace approximately 30 acres of high density and mixed zoned land, with development at a density of approximately 2.8 dwelling units per acre.' We contest that is a negative impact. We do not see that as a negative impact. Again, the change is only 6% of all of Las Soleras and the developers have offered the option for an additional mixed use tract within the currently zoned commercial use. What is more, with the current water and environmental concerns, we think low density is more conservative of our limited resources. While the statement that the project would eliminate approximately 13 acres of active park space is true, it omits that 13 acres of open space are being added in addition to the 11 acre school site. I did not know what 11 acres looked like. A friend did research. A football field is one acre. This is a lot of land. And we contest that 'the project would reduce the availability of the Las Soleras Master Plan to provide adequate high density zoned land in close proximity to commercially zoned land.' Even if the requested 13 acres are removed from high density to low density, there still remains more than 30 acres of high density zoned land. It's more than was contained in the 2003 general plan and it's sufficient to construct a 500 unit apartment complex which is half of the proposed housing units in the totality of Las Soleras. And we believe 50% should satisfy any definition of adequate."

Ms. Jimmerson said, "Now, that's the board. As a person, as a resident of Nava Nava Adé, I would encourage you, I endorse all the folks who talked about children and children needing active space and places to play and places for sports. However, as Steve Burns points out, the best location for that is

in proximity to schools so they can share it. The position of the park that Pulte is recommending would place it in close proximity to 5 schools. 5 minutes away from Monte del Sol, there are 3 school. If you look at the Public Schools website, there is a map of schools. There are 3 noted on it that are just across Cerrillos. There is a new one not noted which has just been built behind the WalMart, and then there's the Monte del Sol, and if it comes to fruition, the new one. I would encourage you think, as these folks have said, of the way that this park can best benefit the most children and the community as a whole. Thank you very much."

### **The Public Testimony Portion of the Public Hearing Was Closed**

*Break 10:00 to 10:25 p.m.*

*The Commission commented and asked questions as follows:*

- Commissioner Kadlubek asked, regarding the minutes from the City Council meeting where Condition 45 was discussed and approved, if those minutes are available.

Mr. Smith said they are available and Mr. Shandler has a copy if that would be helpful.

- Commissioner Kadlubek asked if staff could summarize how Condition 45 came about and what is the actual nature of the condition.

Mr. Shandler read from the minutes of the City Council meeting of February 11, 2009: "Councilor Matt Ortiz said he wanted to site and locate an actual active park that doesn't have as its significant feature the Arroyo Chamiso. The park that's listed on here. Councilor Ortiz went on to say, he isn't talking about that park site, he's talking about an additional park site of at least 15 acres for soccer, baseball fields. He asked where the developer would like to have that placed. Mr. Siebert said this has been in the works for 8 years. We've been working on this with staff for 10 years. I would hate to say something off the top of my head that I would regret.

Mr. Shandler continued, "Later in the discussion, a staff member from the City, Mr. Chavez said he's been talking with Mr. Steiner from the Santa Fe Public Schools over the past 2 months regarding this issue. He said, 'If we can build the school contiguous to the park and capture as much level space as possible, one of the things we can do is enter into another MOU, similar to something we have had with Wood Gormley.' Later on in the discussion, then Councilor Ortiz said, for the record, he made this motion. I do have an amendment and it is on the general plan amendment. I would add as a condition of approval that the developer come back to the Planning Commission and to increase the designation of park space of at least 20 acres, and in addition to the green space that's already been allocated. The developer can decide whether to place that additional 20 acres of green space either in Tract 10 which is just north of the identified park site, or on Tract 15 adjacent to the school tract. And it would be at the developer's choice where that additional acres of park space would come. It is an active park. It is not just a passive park, it is an active park designation at the developer's choice. 20 acres. Then Councilor Chavez said he had no objection but he would like to add that if he left it to the applicant and the School Board to

*determine this. And Councilor Ortiz said how about the condition says at the request of the developer in consultation with the School Board, and there are no objections of other Councilors. Councilor Dominguez then said, it isn't just a matter of having a park next to a school and making it a community park, the trade has to be appropriate for the kinds of activities that happen at a school. He said in the past, arroyos have been given as park space and he wants to make sure we are avoiding that so our school children have an appropriate space. He looks forward to seeing what comes of the friendly amendments."*

Mr. Shandler continued, "Later on in the meeting, Councilor Ortiz says the reasons Tracts 10 and 15 were chosen for you to make the decision, was because of the proximity to school. He said if you don't want to have those particular tracts designated, then instead have a condition with which you are going to provide an additional 20 acres of open, active park space in close proximity to the existing school site and the proposed school site that you're giving is the same condition."

- Commissioner Kadlubek asked the date of those minutes.

Mr. Shandler said these are the City Council minutes from February 11, 2009, on the City web page.

- Commissioner Kadlubek asked the status of Beckner to Richards connection, and if there is a timeframe, if the City has plans for it.

Mr. Romero said, "The City isn't planning to construct Beckner. It would be constructed as part of a phase of Las Soleras. Right now, one of the phases that would more than likely trigger it would be a commercial project between Beckner and Cerrillos. There would be other ones as well. As I mentioned during Ross's Peak, we've been working on the roadway phasing plan and it would be something like that, that would trigger the need for it. We would also be looking on subsequent Las Soleras developments if it's needed from a traffic standpoint. If for example, we started overloading an intersection and we needed to punch out another access."

- Commissioner Kadlubek said then it would be a reactionary thing to traffic already being bad.

Mr. Romero said no. It would be a planning effort to mitigate future traffic. "So if you were going to be approving a major commercial development, there again, next to the Interstate, we'd probably say as a condition to this, they have to build Beckner to Richards, something like that."

- Commissioner Kadlubek asked, at the current density of these two tracts, without the proposed reduction in density, if there is a redevelopment here, would that be enough possible traffic to justify maybe speeding up Beckner to Richards.

Mr. Romero said, "A traffic study would have to be determined. Although, without a traffic study, my qualitative assumption would be that a connection to Dancing Ground with a reconstruction of the intersection at Dancing Ground and Governor Miles to a roundabout, that should be able to handle the added traffic."

- Commissioner Kadlubek said it seems there is a consistent issue with the intersection of Dancing Ground and Governor Miles and would like some color on what is being considered to mitigate the traffic issues there.

Mr. Romero said the major issue currently is the school traffic. He said, "Everyone drops off their kids, leaves at the same time, everyone picks up their kids and leaves at the same time. And this is at virtually every school in the entire City. Whether it's Gonzales exiting onto Alameda, you name it, it's everywhere. There have been several suggestions. One is put in an all-way stop. We haven't recommended it for two reasons, one it doesn't meet warrants and, secondly it would cause undue delay on Governor Miles the major street. Another suggestion would be a traffic signal, but that doesn't meet warrants either. There's not enough consistent side street traffic to justify a signal at this time. Again, I think a roundabout is an appropriate fix we can implement now and that would have longevity for future growth in the area. My opinion is the roundabout would be the immediate fix."

- Commissioner Kadlubek said it was mentioned that the 2017 Traffic Study does not include looking at Beckner to Richards, or traffic with the Beckner to Richards connection as compared to the traffic without that connection, and asked if that is accurate.

Mr. Romero said the analysis showed a Dancing Ground connection to work with a right turn bay, and then we asked the Applicant to amend it with a roundabout, and it shows it to work with a roundabout. There's no reason for us to look at it because a Dancing Ground connection with a roundabout at Governor Miles will operate at acceptable levels of service.

- Commissioner Kadlubek asked if we have the notes from the ENN, commenting one of the speakers said 10 days ago there was something and asked if we have a record of that.

Mr. Thomas said two ENN's were held on this project, the first on December 16, 2014, in which all major components of the project were presented, with the exception of the park reduction. He said the park reduction kicked-in an additional amendment to the master plan, referred to this evening as Condition 45. He said this was a new component which was introduced after the application had been made, so there was an amendment to an already submitted application. So an additional ENN was held on May 11, 2015, approximately 10 days ago. The notes for that are included in the additional packet this evening [Exhibit "4"] which weren't available in time to be included in the packet.

- Commissioner Gutierrez said he wants more information on the document from the HOA [Exhibit "7"], which referenced problems with the TIA.

John Romero said there are 3 bullets listed as follows:

- The TIA fails to fully address Nava Adé concerns regarding the basis for and amount of regional through-traffic created by the Pulte subdivision street extensions.* Mr. Romero said there is an approved alignment for Dancing Ground that connects to Railrunner.

Right now, they're proposing to amend that to bring it into Beckner and they've altered it to where it kind of connects to Walking Rain and so on and so forth. He said, "We performed a VISSUM analysis and the purpose of this wasn't to quantify the number of developed cars. It was to determine in changing the alignment how it changes regional traffic flow. What that study showed and I have this summarized in our Memo, it shows that regional through traffic that would otherwise have gone through Dancing Ground the old alignment, to the new alignment would increase 5-15%. And that would equate from 20 to 50 directional vehicles per hour. So is that too much, or not, that's one vehicle every minute and so many seconds. So that was analyzed."

- b) *The two page VISSUM addendum to the TIA uses a different model done at a different time by different analysts for different forecast years (2035 vs. 2017).* Mr. Romero said the VISSUM model is housed by the Santa Fe MPO and it existed with the current alignment, not the proposed alignment. And what we had the consultant to do that houses that model for us to change the alignment to see how it changed traffic flow, that's all the intent of that was for.
  - c) *The two page VISSUM addendum uses inconsistent development assumptions and street networks, lacking turn movements and Level of Service analysis, providing discrepant traffic forecasts (PM peak hour volumes 54 percent higher on Dancing Ground Road versus the April 2015 TIA volumes.* Mr. Romero said, "That's not the purpose of the VISSUM model. The TIA itself was conducted in a typical manner where they looked at existing volumes on Dancing Ground. They looked at what we are assuming Pulte would generate and they added that to those volumes and generated a level of service. So the VISSUM model was not used to assess what added traffic Pulte would add to the network and how it would be accommodated. It was used to determine whether realignment of the road was going to cause a substantial increase in cut through traffic."
- Commissioner Gutierrez said he thought it was important that the public hear that from Mr. Romero because it was an issue here.
  - Chair Harris said at a certain point we need to talk about the bigger issues, the policy issues. He would like to "keep going on some of the details," and take advantage of staff expertise, noting discussion of the roundabouts and such are in the nature of details.
  - Chair Harris noted the Memorandum dated May 21, 2015, which was received this evening from Richard Thompson [Exhibit "4"] and asked Mr. Thompson to talk about what he represents in this Memorandum.

Richard Thompson, Director, Parks, Trails and Open Spaces Division, said he is here representing the Department Director, Rob Carter, who couldn't attend this evening. He said, "We are both late to the dance on the development of Las Soleras and it has been going on for some time. We sat through several discussions with the Design Review Team at Land Use Planning, and had two

separate meetings with the developer and his agent. The end result is we referred directly to the document cited which is Condition 45, which specifically states that the developer will work with the Santa Fe Public Schools and City staff to review the applicability of the 20 plus acres based on the density of the original subdivision. We consider the fact that this was abandoned due to economic reasons. There was another development plan presented to Land Use Planning. We worked with the developer to bring the recommended separate parts of the park land dedication into one contiguous area which now exceeds 30 acres. And then we added the condition that they work with the Santa Fe Public Schools to satisfy another 10 acres of land to be dedicated to the Public Schools for an active park."

Mr. Thompson continued, "In light of the development since 1999, and 2009, that being the Southwest Activity Node Park [SWAN Park] at the end of Jaguar which is about 3 miles from the site, and then the proposed expansion of the Municipal Recreation Complex which is 8 miles more or less from the site, we proposed to make a less competitive sports regional park and more widely address activities for a larger demographic, which is represented in the Pulte Plan as well. Does that answer any of your questions?"

- Chair Harris said it starts to. He asked, in discussions, what consideration was given to the position of Monte del Sol and the need for an area for playing fields.

Mr. Thompson said it was discussed, and it was presented to us at the time of the original master plan presentation to Council, that Monte del Sol was a part of the Santa Fe Public School System, but now it is not. He said the wording in Condition 45 is that the developer would work with the Santa Fe Public Schools, so it was a consideration, but we had no direction from that wording to insist the land be contiguous with the Monte del Sol campus.

Chair Harris said it is a Charter School which chartered through the Santa Fe Public Schools, and it is now a State Charter School. Somebody said earlier it is a private school, but it is a State Charter Public School, and he believes there should be some consideration to the earlier commitment to a public school. And although it is no longer formally a part of the Santa Fe Public Schools, it serves children and youth from the City as a public school.

- Commissioner Kadlubek asked how the 20 acre park compares to others in the City, and if there are other parks of that size.

Mr. Thompson said Ragle and Franklin Miles Parks are both larger than 20 acres, noting the proposed park site at Las Soleras is more than 20 acres.

- Chair Harris said he assumes they have looked at the topography and have an idea of what is usable, and the reason they are looking at that as less competitive.

Mr. Thompson said yes, and also they're faced with large challenges over the next 20 years, considering the restriction on water use, limited staffing for maintenance, and how they develop parks. They are looking to develop the trail system, the connectivity of the park to the adjacent

users of the development – the industrial park, State buildings, hospital and the school plus the neighborhoods. So less competitive would mean softball complexes or soccer complexes, but singular fields that could be used for practice or pickup games for adjacent educational institutions.

- Commissioner Gutierrez asked what we have in Santa Fe in terms of competitive parks.

Mr. Thompson said he is referring to the larger complexes where they have League play continuously throughout the season, where they entertain tournaments which draw competitors from outside of the City, perhaps, or extended season competition for the School Districts and private schools. He said some of these would be the MRC, the multi-use fields being developed at the SWAN, the fields at Ragle, Fort Marcy – fields of that caliber.

- Commissioner Gutierrez asked if the MRC expansion is going to happen or is it still “pie in the sky.”

Mr. Thompson said the Legislature allocated funds for initial design in 3 phases which presently is underway, noting there is discussion about the funding of the construction of the design phases, but there is no funding at this time.

- Commissioner Gutierrez said then when you were considering the MRC expansion, we don’t know if it will be expanded or not, and Mr. Thompson said this is correct.

- Commissioner Gutierrez said SWAN is a competitive park and asked about the layout and what will be offered there for the kids in terms of baseball, soccer, the number of fields.

Mr. Thompson said there is one multi-use field with a backstop and bleachers, irrigation, lighting, and there is an open air basketball court, a large playground, picnic areas and expansion parking in phase I. Two additional phases are planned and shovel-ready which are awaiting funding.

- Commissioner Gutierrez asked if there will be soccer fields.

Mr. Thompson said that will be in Phase III.

- Commissioner Kadlubek said as he understands it, there is a connection between Monte del Sol and the proposed park location in terms of open space or a track of some sort.

Keith Wilson, Santa Fe MPO, said an existing trail alignment is part of the trails master plan which goes through open space and connects from Monte del Sol across to Railrunner Road. He noted the soccer field was on the western edge of the parking area, but there was no mention of continuing the trail connection within that open space. He wasn’t aware of this information until this evening, so he really hasn’t looked at it. The short thing is that the trail we talked about from Monte del Sol is on the actual master plan already.

- Commissioner Kadlubek said then the trail stops at Railrunner Road.

Mr. Wilson said in the master plan it goes to Railrunner Road and there is supposed to be a crossing and then the trail goes down Railrunner for a short distance and then cuts across the lower portion of what was the park boundary before whatever they's proposing now to the Arroyo Chamiso Trail.

- Chair Harris asked Mr. Wilson if he has any particular issues.

Mr. Wilson said, "I just want to be clear. Most of my effort to this point has looked at what they were proposing for changes to the overall master plan/trail network. Changing the alignment of the power lines, and my recommendation in the packet and when it was reproduced it probably didn't come through very clearly. But looking at it in its totality, and just like they were looking, they are proposing change based on changes in circumstances. I added a couple of additional trail alignments as specifically relating to Pulte and looking to take an opportunity to look at things that have changed. And over by Beckner and Cerrillos, you are aware that the interchange at Cerrillos and I-25 is about to be reconstructed as part of that plan. There will be a trail connection from Beckner to Rancho Viejo Boulevard. A couple of my suggestions are to allow connectivity from that trail where it will terminate at Beckner into Las Soleras. Overall, the major change is that power line at the trail route. When we are looking to do these multi-use trails, we first look at dedicating the alignments that are along roadways and are not interfered with having curb cuts and things like that. So some of the changes are some additional what we call side paths, so if we widen sidewalks along the roads which are less desirable. But if we can minimize the number of intersections they have to cross, then they're not so bad. So the overall concept, I think if they can incorporate my recommendations it's not necessarily a bad thing."

- Commissioner Gutierrez asked with regard to the proposed park at Las Soleras approved by the Governing Body, it that will be constructed by the developer and turned over to the City for maintenance.

Mr. Smith said Chapter 14-9 and 14-8 have provisions requiring a minimum amount of land to be dedicated for local and regional parks. The language also states that the land is not just to be dedicated, but also improved. He doesn't believe they are at the point with the park planning process where there is a plan for development of the individual parks. He said, "In general, the answer to your question is the developer is responsible for dedicating and improving and then the City takes it over and maintains it thereafter. Staff is not aware of any agreement to the contrary about City responsibility."

- Commissioner Gutierrez asked if the park is switched to a less competitive park, what is the School's intention for the 10 acres.

Mr. Smith said staff has been in preliminary discussions and meetings with the planner who works with the School District. He said the discussion has been pretty wide-ranging in terms that the 10 acre site might be used for a different level of school or it may be used for a school administrative facility of some type. He said the Applicant's representative stated in discussions with the School District what might be a preferred or acceptable location for the School District. They were

involved in meetings two weeks ago and at that point it seemed the District Staff and the Applicant's representatives were close to settling on a particular site. He said School District staff was invited to attend this meeting, but they apparently chose not to attend.

- Chair Harris said Ms. McDougall was here earlier.
- Commissioner Gutierrez asked the acreage of any of the new schools.

Mr. Smith said he doesn't have that information.

Mr. Siebert said, "The easy answer to that is no, I don't. But I can tell you that Shirley McDougall [Property Asset Manager for the Schools] told me that for K-6, they need a minimum of 10 acres to make it work."

- Commissioner Gutierrez asked if this does become a less active park, and those 10 acres are donated as opposed to the original language from the Governing Body for an active park of 20 acres, can the public schools just sell the land or do something else with it.

Mr. Smith said, "I think that's an excellent question. The City isn't directly involved in the administration of the School District or in the disposition of their property. It's possible to imagine an agreement between the developer and the School District that would allow the School District to sell the property. It's possible to imagine an arrangement between the developer and School District that would restrict the use of the property by the School District. But thus far, the City has not been involved in or aware of specific negotiations on those points."

- Commissioner Gutierrez asked if it is fair to say that Mr. Siebert has been with Las Soleras since its inception.

Mr. Siebert said he has been involved for approximately 16 years.

- Commissioner Gutierrez said you said it was late at night when you did this park deal, and it was something you wanted to get done. He asked, "When this came back to the Commission for the location of the Park did you guys show up. You had to have some kind of influence on where you were planning this park."

Mr. Siebert said there were two locations. One would be in the area of Monte del Sol, and the other was an area around where we're showing the regional park on the master plan now, and included areas both north, south and west of the regional park. So two locations were approved by the Planning Commission.

- Commissioner Gutierrez asked Mr. Siebert what he would say if the Pulte team went back to the drawing board to include this park.

Mr. Siebert said, "I guess I've always been confused. It appears to me that staff is saying that we need 20 acres of active park and we need 10 acres for schools. I never understood it that way. And Mr. Shandler read some of the minutes, and it was pretty clear to me through those minutes that the deal was it was a joint venture with the schools. And maybe we got that wrong, I don't know. But I think in reading the minutes it wasn't entirely clear what was really meant by that condition."

Mr. Smith said, "For the record, let me clarify, staff is giving me indications that we only anticipated 20 acres plus the School site. Our discussion has been intended to reflect discussion of the question of 20 acres of additional active park versus 10 and 10. We have not intended to suggest there should be a requirement of 20 plus 2."

- Commissioner Gutierrez said, "My thoughts on the active park are, and I know water is a concern, there's not enough active park in the City in my opinion. I have two children that are very involved, and one that's getting involved, and we have to go to Rio Grande to try to hold practices and do things. We go to the MRC for League play and nowhere else. I think since it was part of the Governing Body's direction and you guys agreed, this should be taken into consideration. And this active park should be followed even if it is not in the location where it's upsetting some of the neighbors, but close, where Monte del Sol can still use it and the citizens of Santa Fe can still use it."

- Commissioner Kadlubek asked the number of students at Monte del Sol school.

Mr. Thomas said he heard testimony that it is 400 families, so he is assuming there would be 1 student per family, but we don't have that information.

- Commissioner Kadlubek asked if there is an estimate of students at Santa Fe High or Capital High School.

Mr. Thomas said City staff does not have that information and would rely on Shirley McDougall, the School's planner, to provide that information. As Mr. Smith mentioned, the City is not involved in the direct administration of the school.

- Commissioner Kadlubek said he has questions regarding the process of master plans and such.
- Chair Harris said we are close to that discussion, noting that Alexandra Ladd is here. He said one thing we've seen proposed by the Applicant is to provide an alternate formula for affordable housing. He asked Ms. Ladd to respond to what she has read.

Alexandra Ladd said as a proposed project, the project would be subject to the Santa Fe Homes Program, which would require that 20% of the units be provided at affordable prices to income qualified and trained homebuyers, which would be approximately 60 units. The homes are priced according to 3 different income tiers, so 3 different ranges of affordability. She said, "The Applicant has proposed, or is going to propose it's not official yet, but would like to get permission to do a

form of alternate compliance, which would be a combination of donating some of the finished building lots to Habitat for Humanity and donating a 4-acre parcel to the City that could be deeded to a non-profit housing developer to do, most likely, a low income housing tax credit project of at least 60 units. Right now, under the Ordinance as written, the Applicant has to demonstrate an extreme financial hardship that would be associated with providing the affordable units within the development and then the City Council approves that as well as the proposed alternate form of compliance."

- Commissioner Kapin asked if the land to be donated is in this project or is that elsewhere.

Ms. Ladd deferred to Mr. Siebert saying she doesn't believe it is within the project area.

Mr. Siebert demonstrated the site on an enlarged map, noting it is adjacent to the Pulte Project which is adjacent to the original park, noting the approximate location on the enlarged map. He said, "In fact, it's on this plan here. The 4 acre site sits right 'here,' 'this' is Railrunner, 'this' is the Pulte Project, 'this' is the area that we're proposing to add to the regional park. The idea is it would be on the same open space corridor with the trail. So it's bounded by the open space corridor on one side, Railrunner on another and the regional park on the other."

Commissioner Kapin asked if that currently is in the residential high density area.

Mr. Siebert said it would be in there, noting it is zoned R-21.

- Commissioner Kapin asked, "That part of that area is not what you're requesting to be changed to a lower density at this time."

Mr. Siebert said it is not. R-21 remains the same on the west side of Railrunner.

- Commissioner Gutierrez said if Commissioner Villarreal was here she definitely would point out that segregation is not something she would agree with or want to see, and "I just want you to take some notes, Mr. Siebert, about working on that. Thank you."
- Chair Harris said that is an important element without question, noting there are a lot of things to be discussed and hopefully resolved. He did want everyone to be aware of what the alternate solution may be.
- Chair Harris asked Ms. Zaxus her thoughts on what is being proposed in terms of technical review. He said we heard a lot about the landscaping and the ponds and how that can slow the flows, commenting it is more attractive as well as helping to solve the problem that has been described at Nava Adé.

Ms. Zaxus said she has no specific remarks, but she thinks they've done a really good job of making the proposed ponds look really attractive, compared to a lot of the deep, sort of ugly, regional ponds we come across and have to work with the developer. She said they will be very

attractive. She said, "They're doing a good job of solving two existing flooding problems, so I think the storm drainage is well done."

- Chair Harris asked about the alternate street profile.

Ms. Zaxus said, "I'm okay with that. I'm no traffic engineer, but I basically think a lot of our streets are too wide and encourage speeding. It's a lot of impervious pavement, so I like the idea." She said she has nothing further to add.

John Romero said he agrees that narrowing roads is an effective way of traffic calming. He said the maximum road has 12 foot lanes, which is what people 'used to do way back in the day.' He said that's how we do the Interstates. The City doesn't do that any more and is responsible in narrowing its streets. He said Cerrillos Road was designed with 11 foot lanes. Our residential streets with parking are 10 feet, and without parking 9 feet. He said the reason we have to go to 10 foot width parking is because of the Fire Code which requires 20 feet, plain and simple. He said when there is no parking, the gutter pan can be considered part of the 20 feet, so that's how we get away with 9 foot lanes. With parking, the 6 foot asphalt, the gutter pan brings it up to about 7 1/2, and that's the parking space, so clear space within the parked cars is reduced to 20 feet, a typical section. With the proposal it will be 18 feet with any Fire Code.

- Chair Harris said then from his perspective as Traffic Engineer for the City, it's really an issue for the Fire Department to respond to, the Fire Marshal to respond to.

Mr. Romero said, "Yes, but also just functionality. 9 foot lanes are tight with parked cars on the side, I think. When you have parked cars on both sides, I think that, in itself, has a very significant traffic calming effect, maybe even more so that there is no parking with 18 foot lanes. I would think you would get better traffic calming with 10 foot lanes and parking than you would with no parking and 9 foot lanes."

- Chair Harris said we will not go past the midnight hour. He said he has questions on some of the bigger issues. He said he would encourage Commissioners to put their questions in writing that can't be asked this evening, and those will be presented to Mr. Thomas, as the appropriate avenue and asked Mr. Smith if he agrees.

Mr. Smith said, "Yes, any of the staff members, either by email or in written form. If Mr. Thomas or I are not available, Geraldine Gurule would also be able to process any questions that they have."

Mr. Smith said in terms of continuing the hearing to another date, "Let me note that the June 4, 2015 meeting is only two weeks away, and we would have only a few days to generate the agenda packet for that meeting. It's possible that we would be pressed to get written responses to written questions into a packet that's distributed next week. We would try to do that, but we would not be able to make promises.

- Chair Harris said we've told you we're going to take more time on this.

Mr. Smith said he didn't mean to give the impression that he was trying to discourage the Commission from doing that. He said, "In terms of a point of reference though, unless the Commission wants to decide tonight on a second meeting date in the month of June, June 4<sup>th</sup> would seem to be the likely date for a continuation of the hearing."

- Chair Harris said there is a meeting date scheduled twice every month, so the second meeting would be June 18, 2015.
- Commissioner Kadlubek said he has questions about what a postponement would mean, commenting we are in that conversation now. His concern is if we have any clarity on the makeup of the Commission and asked if we know what the Commission will look like in June.

Ms. Martinez said the Mayor is actively looking at the membership, making decisions and some of those announcements will become public tomorrow afternoon. She said she is not at liberty to say what the transition would look like, if there is a transition. She said there are two factors still in the plan that need to be resolved tomorrow morning, and that's all she can say at this point.

Mr. Smith said, "For the record, barring any unusual decision by the Mayor and Council, normally, we would anticipate that the current terms will expire July 1, 2015."

- Chair Harris said he thinks everybody acknowledges that it is a transition in many ways, so "we'll keep it moving forward as best we can." He would like to talk about some of the broader issues and then come back to see if we want to set a date.
- Chair Harris said, "If we postpone, must we have a date certain to postpone to... Mr. Shandler or Mr. Smith."

Mr. Shandler said, "That's my understanding."

- Chair Harris said then we must have a date certain.

Mr. Shandler said, "Unless you are asking the Applicant to come back with additional information that is contingent on the Applicant providing more information."

- Commissioner Kadlubek said as a new person on the Commission, "I am already seeing a trend of master plans or master plans that might be outdated, restricting or handcuffing or just kind of putting up a smokescreen of sorts for the Commission to really make sound judgment. I just want to ask if there is a process... I understand with like the general plan and the future use that there is now a subcommittee to be able to come up with a new general plan. But for a master plan like a development like this, is there a process the City engages in when it might become obvious that the plan is outdated or that trends have shifted and there's interest in changing things, rather than having the Master Plan be something with which developers are coming to the Commission. Is there a process that includes the citizens, the City in some way that's not the developers coming to the Commission to alter a master plan."

Mr. Smith said, "It's an interesting question. The past history of the creation and adoption of a master plan has an implication by the landowner by the master developer, so they always start with developer driven applications. To my knowledge there has not been a circumstance where the City has initiated an amendment to the master plan. It's relatively unusual in my experience that there is more than just a minor amendment to a master plan phase by phase, and I don't want to say unprecedented completely, but I think in terms of *[inaudible]* this is the first case I'm aware of where we've been involved in a request. The typical situation is where the Future Land Use Plan, tracts of land for the master plan area *[inaudible]*."

Chair Harris said the baseline information was confusing. He is looking at the Rezoning Survey Plat which is found in front of the Lot Line Adjustment Plat, for example the Rezoning Survey Plat identifies 9A, 11A and different parcels. He asked if there was a plat subsequent to the master plan and annexation and the plat associated with that. There was a lot split for Lots 12A and 12B. He asked how we got to the point of 9A, 11A and those that seemed to be smaller parcels for the subdivision of various tracts.

Mr. Siebert said, "The directive given to the surveyor was to make the plat consistent with what was requested from a zoning standpoint. The tracts of land always coincide with the zoning district. If you recall, 'this' location, the other Railrunner Road kind of cut off and did that, and there's even a little teeny piece here and I think it's like 46 square feet that you have to make it consistent. So it all falls within the same zoning district. So, for example, you have one 'here,' well that ultimately needs to go away in order to make all this area here consistent, which is R-6 all the way to the point we showed you was the first phase of the Pulte development. So you wind up with these very odd shaped pieces as a result of that on the survey plat."

- Chair Harris said 9B is well outside of anything proposed for Pulte. This rezoning survey plat, for example says on 9B which is basically south of the park says RM-1 to R-21. He said many of the tracts go well beyond the proposed Pulte project, and seemingly changing the zoning. He doesn't know the underlying zoning for 12B. It says here it's RM-LD to R-12 zoning for the park.

Mr. Siebert said, "Let me explain that. The R-21, was when the old City Zoning Code for 21 units per acre was RM-1, and that's what was shown on the master plan, RM-1, on the zoning master plan for Las Soleras. The Code was modified and became R-21. R-12 was originally RMLD, same exact zoning districts, 12 units per acre, but instead of putting in the RMLD, everything belonged to a numeric classification. And I think, it's getting late, I understand the issue that you have. At the next meeting we can have an exhibit that clarifies exactly how that plat works. I guarantee you it took us, including working with staff, it took us a good month and a half to figure out how to do it."

- Chair Harris said he's looked at a lot of these and he started off confused and spent a lot of time trying to sort it out. He asked Mr. Siebert what is the current zoning classification for Tract 12B.
- Mr Siebert said 12B as he recalls is the split in the park and believes that design classification is R-6 or R-1 or something.

- Chair Harris said there is a commitment to build a park there. It's been designated on the master plan and he doesn't understand the reason we have R-12 or R-6 or any kind of development zoning.

Mr. Siebert said the question is, how would you zone this. There is no zoning classification in the City zoning for park. There is nothing that says "P" on it. It's got to be some zoning designation and we threw it in as he recalls as an R-6, but it could be R-1, or RM-1. He said parks are permitted in all those districts, reiterating that there is no zoning classification that says park.

- Chair Harris asked if there was an economic impact of some sort for the original Las Soleras master plan.

Mr. Siebert said he does not recall if there was.

Chair Harris said he will put the question in writing and it can be answered subsequently.

- Commissioner Kapin asked staff if there was any analysis of the impact on the property values with the downzoning, and the loss or gain to the City.

Mr. Smith said, "That is an excellent tactical question and we would be able to do that analysis in very general terms, but to my knowledge we've not done that on a previous case. We have asked the Applicant to prepare on large scale annexation cases fiscal impact statements. For the record, at this point, I would have to do research on whether such a fiscal impact statement was done for any of the previous versions of this project. I believe the answer is no, but I can't say that without more research."

- Commissioner Kapin said she definitely is interested in seeing some of those numbers when we're making these decisions.
- Chair Harris said he has questions, although he doesn't expect answers immediately, but he would like to know what the future may hold for the Rail Runner station. Also, we have two hospital zones in the City and this is one of them. In a recent case, Morning Star which is adjacent to the hospital zone for Christus St. Vincent, there is a lot of discussion about what the health care profession may do in terms of economic development. He said Presbyterian has been before the Commission previously when it proposed its clinic, and he would like to know what may be coming from Presbyterian. He has seen an assisted living facility noted, noting these can be sensitive commercial discussions. He said, "I want to see what is going to drive Las Soleras. There was a lot of discussion about a transit oriented development in those days which applied to this property, the Zia property and others and other locales as well. Those visions aren't necessarily becoming reality in my observation. So again, what is going to drive Las Soleras. Is it going to be a transit oriented development or is it going to be associated more with health care and the professions

associated with health care, and anything you can provide on that. Those are the types of things. I will also ask about a new acronym, VMT, is that yours Mr. Siebert or is that an industry acronym."

Mr. Smith said, "I believe VMT stands for Vehicle Miles Traveled."

- Chair Harris said he hasn't seen that before and thinks it's a legitimate consideration as the MPO plans are being developed, commenting that he will ask something to that effect, so "be prepared."
- Chair Harris said he heard about a job housing balance in Las Soleras. He said where we are headed is a significant reduction in the number of housing units. If there's a true ratio... I don't know if a ratio of any sort was used originally in considering Las Soleras. He said with this lower density, we're really going to have quite a bit of commercial land here, it is an increasingly commercial area.
- Mr. Smith said, "I could respond briefly on that. There was some discussion by some of the Nava Adé residents who said they had been involved since the beginning, since way back when. In the older version of Las Soleras that were approved, there was discussion about the intention of the mixes and uses and the approximate ratio of jobs provided, the units provided, was intended to match very closely to the overall profile of the City at the time. This would have been in the time frame of about 2001 when it was first addressed. They talked about the General Plan from 1999 to 2001 and how it was changed to 2009, etc. So the 2001 version started with a lot schematic indication of about the same proportion of commercial districts and residential districts as was present in the City overall at the time, with the intent that the approximate ratio of housing units provided to jobs created would be about the same in the Las Soleras area.
- Chair Harris said there was consideration given at the time on a broad scale. He said, "I will phrase the question and you can respond. Again, we're getting close here. I will have questions for Monte del Sol. I'm going to ask if they have done any programming exercise to see what level they need – do they need a track, a soccer field, a ball diamond, is there any space for a gym. If I understood correctly, they have approximately 3 ½ acres they've got modular units on. I did hear that Pulte is going to help capture some of that acreage that isn't *[[inaudible]]* developed. I am also wondering about the Beatty approval. I realize we're not talking about the Beatty property. There is this triangular corner of a large piece of property. Can that be made available to Monte del Sol. What might be done to support that particular State Chartered Public School."

Mr. Smith said, "Briefly. Staff's recollection is that at the time the Beatty and Beatty South projects were in front of the Planning Commission and the City Council for zoning, annexation and subdivision, there was some discussion in the 2001-2004 timeframe. It is anticipated that very southernmost corner of Nava Adé in the southwesterly corner of the Beatty South property would all potentially collaborate to create at least one 10-acre school site between the three projects. To my knowledge, the only one that has gotten as far as an actual dedication is the existing school site itself, which is kind of appended to the Nava Adé property but encroaching into the boundary of...."

Chair Harris said, "I'm going to ask staff to research this and look at the conditions attached to the Beatty approval and see if there is something that might trigger access to that land. And it may or may not work, we may have to look at a little bit of Tract 15, but I do think it's important for some consideration to be given to Monte del Sol, despite the fact they're not formally attached to the Santa Fe Public Schools. I believe that was the intention and I believe it's appropriate."

- Chair Harris continued, "I've got a lot of specific question like for yourself, Mr. Romero. At Governor Miles and Dancing Ground is there room to do a turnabout... a roundabout."

Mr. Romero said, "There is open space dedicated to the City. The way my staff report is fabricated [?], it is basically an Option A and Option B, Option A being the preferred one. And that would be that the roundabout be constructed, but what that is contingent on is Nava Adé allowing using open space that was dedicated to the City to be utilized [inaudible]. If that's unattainable, then Option B is we would hold money in escrow until a signal was warranted, and they have to deal with the situation until that time. Only because the developer cannot exercise eminent domain. But there is plenty of physical space. All it needs is for the Nava Adé HOA to agree to the [inaudible] on 3 of the 4 corners. I think one of the corners, the City owns outright. The other 3 are dedicated to the City but only as open space."

Chair Harris asked Mr. Romero if he knows if there has been any discussion between staff or any portion of the City and the Nava Adé HOA.

Mr. Smith said, "For the record, Land Use Staff hasn't been involved in those discussions."

- Chair Harris said he will put that on the list.
- Chair Harris said, "Since I have you here, the road phasing plan that I thought was, I was wrong, was internal to Ross's Peak. You're really talking about Las Soleras. Where would the connection fall, and I realize you haven't finalized your thoughts on this, but where would the connection fall in terms of a road phasing plan that would be a full connection from Governor Miles to Beckner.

Mr. Romero said, "Without a complete analysis, I would think any of the commercial phases between Beckner and the Interstate from, at a minimum, Las Soleras Drive east. Anything that was developed in that area would necessitate an extension of Beckner Road to Richards Avenue."

- Chair Harris said that's not what he's talking about. He is focused on the stretch of Railrunner. We know we are bringing it further south, associated with Ross's Peak. He said, "I don't know, and you've shown the Commission and others where it ends now, or maybe Mr. Siebert did, where Beckner ends, but again, I'm wondering what it would take to get a connection of Railrunner down to Beckner."

Mr. Romero said it is included as part of the Pulte project, as part of Phase IB, so it would be connected from where Ross's Peak ends it to Beckner during Phase IB.

- Chair Harris believes that is the third phase, and asked Mr. Siebert if that is correct.

Garrett Price said, "Actually it would be in IB, since we have such a small portion of lots being delivered in the age targeted location. If you recall in that blue area, that's where the model lots would be that we don't have to change the underlying zoning. That IB is just the next phase right after that, so that would be almost right on the heels, since there's not a lot of lots available for the market, because some of those are models. It would happen almost immediately after."

- Chair Harris said he is thinking that the investment that Pulte would be making in moving the transmission lines is significant, although he doesn't know what the dollar amount would be, but that's no small matter. He appreciates that Pulte, as a national organization, has the weight to do that, and it seems like it has the weight to make that connection on Railrunner, noting we will talk about that later.

Mr. Shandler said, "To add to the list, I guess I'm still confused about the residents wanting this gate to be put in on whatever that street is, and that would be just like a one-way access. And I didn't know if staff had a position on that, or if that will be part of the questions that will come out."

Mr. Romero said, "My position is to connect all of the roadways right now, and not gate them off to some future point."

- Chair Harris said he agrees.
- Commissioner Gutierrez said, "Commissioners and staff, Monte del Sol was brought up and Commissioner Kadlubek talked about how many kids and if they can fill that 20 acre park. I just want everybody to remember this isn't a park for Monte del Sol. It's a park for the citizens of Santa Fe. The next thing I want to say is Mr. Siebert and Keith Wilson, I applaud you for working with the neighbors. There were a lot of positive things said about this. There are obviously a few things that need to be worked out. But my in-laws own a home in Loma, Colorado and there's a very small park across the street from them and it's nice."
- Commissioner Gutierrez said, "One more thing. We were talking about moving this to a date specific, and June 4, 2015, does not seem to fit, but if it does fall on June 18<sup>th</sup>, can we have more information earlier."
- Commissioner Kadlubek said some additional questions he has and he will write these down and submit them, but he would like to voice them here as well. Regarding the park, it seems one of the biggest issues here we're dealing with obviously is where the park is located, and Monte del Sol is very specific to the park. He said, "Shouldn't we be knowing about other City parks that are next to schools. I'm just confused as to what that relationship is. I don't know other parks. I know Wood Gormley probably has one. A couple of questions would be, what is the precedent for that in our City and where it does exist, what is the activity, if you have numbers of how many people visit the parks, what do the numbers look like when it's associated with a school as compared to where it is in a more general public area. I would be interested in knowing the difference in usage."

Mr. Thompson said, "If you would propose those questions to the Land Use Department, we will have answers prepared and get them to you in advance of the meeting for your use."

**MOTION:** Commissioner Gutierrez moved, seconded by Commissioner Kadlubek, to postpone Case #2014-124, Case #2014-123, Case #2014-125, Case #2015-09, Case #2014-126 and Case #2015-08, to the Planning Commission meeting on June 18, 2015.

**VOTE:** The motion was approved unanimously on a voice vote, with Commissioners Gutierrez, Kadlubek, Kapin and Ortiz voting in favor of the motion and no one voting against [4-0]

3. **CASE #2014-123. PULTE LAS SOLERAS MASTER PLAN AMENDMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF AMENDMENTS TO THE LAS SOLERAS MASTER PLAN. AMENDMENTS INCLUDE: THE REALIGNMENT OF ROADS, RECONFIGURATION OF TRAILS AND REDUCTION OF ACTIVE PARK LAND AND THE RECONFIGURATION OF LAND TRACTS. (ZACH THOMAS, CASE MANAGER)**

This case is postponed to June 18, 2015.

4. **CASE #2014-125. PULTE LAS SOLERAS GENERAL PLAN AMENDMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS REZONING OF: 12.92 ACRES FROM R-021 (RESIDENTIAL - 21 UNITS PER ACRE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE); 14.95 ACRES FROM MU (MIXED-USE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE; AND 3.93 ACRES FROM R-12 (RESIDENTIAL - 12 UNITS PER ACRE) TO R-6 (RESIDENTIAL - 6 UNITS PER ACRE). THE PROPERTY IS CURRENTLY VACANT AND LOCATED WITHIN THE LAS SOLERAS MASTER PLAN (ZACH THOMAS, CASE MANAGER)**

This case is postponed to June 18, 2015.

5. **CASE #2015-09. PULTE LAS SOLERAS ELECTRICAL TRANSMISSION LINE RELOCATION. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL TO RELOCATE AN EXISTING 115 KV ELECTRICAL TRANSMISSION LINE WITHIN THE LAS SOLERAS MASTER PLAN AS THE PART OF THE GREATER PULTE GROUP MASTER PLAN AMENDMENT, GENERAL PLAN AMENDMENT, REZONE AND SUBDIVISION REQUEST. THE PROPOSED RELOCATION WILL FOLLOW THE FUTURE BECKNER ROAD REALIGNMENT. (ZACH THOMAS, CASE MANAGER)**

This case is postponed to June 18, 2015.

6. **CASE #2014-126. PULTE LAS SOLERAS LOT LINE ADJUSTMENT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF LOT LINE ADJUSTMENTS WITHIN THE LAS SOLERAS MASTER PLAN TO RECONFIGURE LAND TRACTS CONSISTENT WITH THE PROPOSED GENERAL PLAN AMENDMENT AND REZONING. THE PROPOSED LOT LINES COINCIDE WITH ANTICIPATED PHASING OF FUTURE SINGLE-FAMILY RESIDENTIAL SUBDIVISIONS. (ZACH THOMAS, CASE MANAGER)**

This case is postponed to June 18, 2015.

7. **CASE #2015-08. PULTE LAS SOLERAS PRELIMINARY SUBDIVISION PLAT. JAMES W. SIEBERT & ASSOCIATES, AGENT FOR THE PULTE GROUP, REQUESTS APPROVAL OF PRELIMINARY SUBDIVISION PLAT (77 LOTS) FOR PHASE 1 (UNITS 1 AND 2) OF DEVELOPMENT ASSOCIATED WITH THE PULTE MASTER PLAN AMENDMENT, GENERAL PLAN AMENDMENT AND REZONING. UNIT 1 OF THE SUBDIVISION IS IDENTIFIED AS "TRADITIONAL" DEVELOPMENT WHILE UNIT 2 IS IDENTIFIED AS "AGE TARGETED" GATED DEVELOPMENT. THE PROPOSED SUBDIVISION IS 30.9 ACRES WITH AN AVERAGE DENSITY OF 2.49 UNITS PER ACRE. THE PRELIMINARY SUBDIVISION PLAT ALSO INCLUDES A VARIANCE REQUEST FOR DISTURBANCE OF 30 PERCENT AND GREATER SLOPES AND AN INNOVATIVE STREET DESIGN. (ZACH THOMAS, CASE MANAGER)**

This case is postponed to June 18, 2015.

#### **G. STAFF COMMUNICATIONS**

Mr. Smith said an application has been filed for a significant addition to St. Vincent Hospital campus which is scheduled for the meeting of July 2, 2015.

Mr. Smith said two significant Commission cases will be going to the City Council: The Blue Buffalo Rezoning Case is tentatively scheduled for June 24, 2015. Commissioners who are interested in following the progress of that case, please let staff know and we can get the specifics to you. An appeal has been filed in the Morning Star Project, and will be a late June or early July 2015 hearing, noting it is still in process in Mr. Shandler's office.

Mr. Smith said the Commission did an excellent job in evaluating and responding to the issues tonight, and thanked them for their preparation and attention.

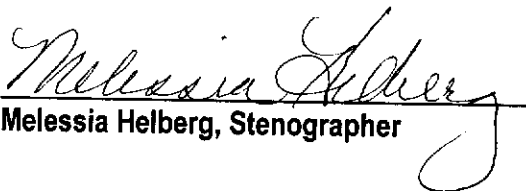
**H. MATTERS FROM THE COMMISSION**

Commissioner Gutierrez said he will be in Dallas on June 4<sup>th</sup> for a soccer tournament, and will miss both the Summary Committee and Planning Commission meetings on that date, and would like to be shown as excused.

**I. ADJOURNMENT**

There was no further business to come before the Commission, and the meeting was adjourned at approximately 11.55 p.m.

  
Michael Harris, Chair

  
Melessia Helberg, Stenographer

# City of Santa Fe, New Mexico

## memo

DATE: May 6, 2015 for the May 21, 2015 Meeting

TO: Planning Commission

VIA: Lisa Martinez, Director, Land Use Department *LM*  
Greg Smith, AICP, Director, Current Planning Division *GTS*

FROM: Zach Thomas, Senior Planner, Current Planning Division *ZT*

**Case #2014-119. Ross' Peak Preliminary Subdivision Plat.** James E. Siebert & Associates, agents for Ross' Peak, LLC, request approval of a Final Subdivision Plat for 200 lots located on 31.72 acres on Tracts 12 and 13 of the Las Soleras Master Plan. Tract 12 is zoned R-12 and Tract 13 is zoned R-6. The tracts are located south of the Governor Miles Road and Rail Runner Road intersection, immediately east of the Arroyo do los Chamiso. The Preliminary Plat was approved by the Planning Commission on August 7, 2014. (Zach Thomas, Case Manager)

### I. RECOMMENDATION

The Land Use Department recommends **APPROVAL** subject to the conditions of approval as outlined in this report.

### II. PROJECT OVERVIEW

The Preliminary Subdivision Plat was approved by the Planning Commission at its meeting on August 7, 2014. The Finding of Fact and Conclusions of Law were adopted at the subsequent meeting on September 11, 2014.

Pursuant to SFCC §14-3.7, subdivisions are subject to both Preliminary and Final approval. The Development Code further states:

*Approval of a preliminary plat does not constitute approval of the final plat; rather, it is an expression of approval of the layout submitted on the preliminary plat as a guide to the preparation of the final plat. The final plat shall be submitted to the planning commission for approval and recorded when the provisions of this article and the conditions of preliminary plat approval are met.*

*Exhibit "1"*

The applicant is requesting approval of the Final Subdivision Plat with the following modifications:

- Reduction of lots from 204 to 200.
- Increase in the number of "alley loaded" lots from 50 to 84.
- Elimination of second access from Rail Runner to Tract 13.
- Reconfiguration of Tract in Phase 5 to eliminate alley loaded design.

### III. DISCUSSION AND ANALYSIS

Analysis regarding the specific components of the subdivision and overall subdivision design was completed at the time of Preliminary Subdivision Plat approval. The Final Subdivision Plat is in substantial conformance with the Preliminary Subdivision Plat approved by the City Council. The final plat has been reviewed by the Development Review Team (DRT) whose comments are included as Exhibit B. Any necessary corrections or deficiencies that must be corrected prior to recordation of the final plat have been addressed by the proposed Conditions of Approval (See Exhibit C).

### IV. CONCLUSION AND CONDITIONS OF APPROVAL

The Land Use Department is recommending **APPROVAL** of the Final Subdivision Plat. A significant number of conditions are recommended to address technical revisions necessary prior to recordation of the Plat. Additionally, a condition of approval is recommended to require the residential street on Tract 13 to be developed at adequate width to provide on street parking at a ratio of one-half space per dwelling unit. The Planning Commission may amend the conditions of approval in keeping with the adopted Findings of Fact and development standards and regulations.

### V. ATTACHMENTS:

EXHIBIT A: Final Subdivision Plat Conditions of Approval

EXHIBIT B: Development Review Team Memoranda

1. Traffic Engineering Memorandum, John Romero and Sandra Kassens on file with Land Use Department, see email included.
2. Technical Review Division Memorandum, Risana "RB" Zaxus
3. Landscaping Memorandum, Noah Berke
4. Wastewater Management Division, Stan Holland
5. Water Division Memorandum, Dee Beingessner

EXHIBIT C: Planning Commission Approvals

1. Findings of Fact and adopted Preliminary Plat Conditions of Approval
2. Planning Commission Minutes

EXHIBIT D: Applicant Submittals

1. Subdivision Report
2. Final Subdivision Plat

**City of Santa Fe, New Mexico**

**Planning Commission**

**Exhibit A**

**Final Subdivision Plat Conditions of Approval**

# Ross' Peak Final Subdivision F Conditions of Approval

## Planning Commission

Case #2014-119 – Ross' Peak Final Subdivision Plat

Conditions	Department	Staff
The Traffic Engineer conducted a review of the final subdivision plat. The attached memorandum dated May 4 <sup>th</sup> notes Conditions of Approval to be completed prior to the recordation of the Plat.	Traffic Engineering	John Romero/ Sandra Kassens
The Wastewater Division Engineer shall conducted a review of the Final Subdivision Plat. The attached memorandum dated March 9 <sup>th</sup> notes Conditions of Approval to be completed prior to the recordation of the Plat.	Wastewater Division	Stan Holland
The proposed development will require a main extension with individual metered service connections for each lot. The water plan for this development must be approved by the water division prior to issuance of an Agreement to Construct and Dedicate for the water main extension.	Water Division	Dee Beingsner
The Fire Marshal conducted a review of the above mentioned case for compliance with the International Fire Code (IFC) 2009 Edition. Below are the following requirements that shall be addressed prior to final approval of a subdivision plat.  Shall comply with IFC requirements. <ol style="list-style-type: none"> <li>1. Fire Department Access shall not be less than 20 feet width.</li> <li>2. Fire Department shall have 150 feet maximum distance to any portion of the building on any new construction.</li> <li>3. The subdivision shall have water supply that meets IFC requirements.</li> <li>4. All Fire Department turn arounds shall meet IFC requirements and have proper signage.</li> <li>5. May require thru access for emergency vehicles depending on delay of response or water availability.</li> <li>6. All private drive surfaces shall be verified by a registered engineer to be all weather surface and capable of supporting appropriate emergency vehicles.</li> </ol> <p>All development shall conform to applicable IFC requirements and any requirements set forth by the Fire Marshal.</p>	Fire	Rey Gonzales
The subdivision plat has been reviewed to ensure consistency with the Metropolitan Transportation Plan (MTP), the Metropolitan Bicycle Master Plan (BMP) and Las Soleras Trail Plan. The following conditions are added to ensure connectivity with the trail alignments:  <ol style="list-style-type: none"> <li>1. The developer shall design and construct the Arroyo Chamiso Trail identified on the subdivision plan, including connections to the proposed park and streets as shown in the preliminary plan based upon a final design submitted to and approved by the Roadway &amp; Trail Engineering Division prior to final plat recordation.</li> <li>2. Multiuse trail design details shall be in accordance with the AASHTO Guide for the Development of Bicycle</li> </ol>	MPO / Roadway and Trails Division	Keith Wilson / Leroy Pacheco

**Ross' Peak Final Subdivision Plat—Conditions of Approval**  
 Planning Commission  
 Case #2014-119 – Ross' Peak Final Subdivision Plat

Conditions	Department	Staff
<p>Facilities, the MUTCD and applicable ADA guidelines (current additions). Such design details may include, but are not limited to vertical/horizontal geometrics (i.e. alignment and grades – plan and profile), typical sections with pavement details, drainage accommodations and infrastructure, safety rail, adjacent steep slope stabilization, retaining structure details, lighting, signing &amp; striping, street connection details, etc. Trail/street intersections may also require additional review and approval by the City Traffic Engineer.</p> <p>3. The Arroyo Chamiso Trail System shall be provided a minimum 20 foot right-of-way corridor for non-motorized multiuse trail use and be dedicated as public right-of-way in lieu of easement dedication – pedestrian access easements excluded.</p>		
<p>The subdivision developer shall comply with all requirements of the signed Santa Fe Homes Program Proposal and enter into a fully executed Santa Fe Home Program Agreement prior to recordation of the Final Plat.</p>	Affordable Housing	Alexandra Ladd
<p>The City Engineer for the Land Use Department conducted a review of the subdivision plat and provided the following comments which are noted as Conditions of Approval to be addressed prior to recordation of the Final Plat:</p> <ol style="list-style-type: none"> <li>1. No construction or grading is allowed in the floodplain. All FEMA regulations apply. A Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR) may be submitted to modify the floodplain limits, in accordance with FEMA standards and approval of the City of Santa Fe.</li> <li>2. Prior to the start of ANY grading or construction traffic on the site, a barrier of orange construction fencing shall be installed at the limit of the 1% floodplain. Neither construction nor construction traffic is to be allowed outside within the barrier.</li> <li>3. All required street trees shall be within a 5 foot planting strip between curb and sidewalk.</li> <li>4. Irrigation systems shall be provided for all landscaped area.</li> <li>5. Significant trees shall be preserved or relocated in accordance with SFCC Section 14-8.4(F)(5).</li> <li>6. Qualifying open space, which includes detention ponds, shall be planted with a minimum of one tree and two shrubs every 500 square feet, in accordance with SFCC Section 14-8.4(H). Calculations must be provided at the time of final plat approval.</li> <li>7. The Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo de los Chamisos, shall be constructed during the phase that would include the 103<sup>rd</sup> lot. In the event the CLOMR is not approved, the Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo de los Chamisos, shall be constructed during the phase that includes the 103<sup>rd</sup> lot, and the Letter of Credit for the construction of infrastructure during that phase shall include the full cost of improvements to the temporary pond such that it will serve as the permanent pond. All work on the phase that includes the 103<sup>rd</sup> lot shall be completed and accepted by the City prior to the issuance of infrastructure permits for the next subsequent phase.</li> <li>8. Walls and fences must meet the setback and landscaping requirement of SFCC Section 14-8.4(J)(2)(b).</li> </ol>	Technical Review	Risana "R.B." Zaxus / Noah Berke

**Ross' Peak Final Subdivision F**      **Conditions of Approval**  
 Planning Commission  
 Case #2014-119 – Ross' Peak Final Subdivision Plat

Conditions	Department	Staff
<p>9. All proposed Covenants, Conditions and Restrictions (CC&amp;R's), Homeowners Association Documents and Design Guidelines shall be reviewed and approved by the Land Use Department.</p> <p>10. All development shall comply with landscape and site design standards per SFCC §14-8.4.</p> <p>11. A note shall be placed on the Final Subdivision Plat stating that signs shall be placed within all private alleys prohibiting parking within the alleys.</p> <p>12. All other Conditions of Approval noted on the attached memorandum from RB Zaxus dated January 16, 2015 shall be addressed prior to recordation of the Final Plat.</p> <p>13. All comments noted on the attached memorandum from Noah Berke dated January 16, 2015 shall be addressed prior to recordation of the Final Plat.</p>		
Water rights shall be transferred to the City no later than 60 days after the approval of the final subdivision plat for each phase or subphase of development. Building permits shall not be issued until adequate water rights are transferred to the City.	Land Use	Amanda Martinez
The residential street on Tract 13 shall be developed at an adequate width to provide on street parking at a ratio of one-half space per dwelling unit.	Land Use	Current Planning
The necessary infrastructure for each phase of development shall be determined and constructed to the satisfaction of the appropriate City Department or utility.	All Departments	N/A
<p>A note shall be placed on the Final Subdivision Plat that the Homeowners Association shall maintain:</p> <ol style="list-style-type: none"> <li>1. All private alleys and sub-standard street sections serving Lot 1 of Block 1 and Lots 24&amp;25 of Block 9.</li> <li>2. All portions of the Common Area, including landscaping, structures, and other improvements.</li> <li>3. Landscaping within public rights-of-way within or abutting the community.</li> <li>4. Any portion of any additional property as may be dictated by Declarant, the Plat, any contract, covenant, or agreement for maintenance entered into by, or for the benefit of the Homeowners Association.</li> <li>5. All detention ponds within the subdivision which serve as part of the subdivision's storm water drainage system, including associated improvements and equipment.</li> </ol>	Land Use	Current Planning
A bus stop shall be constructed north of Tract 13, along eastbound Governor Miles Road concurrent with the subdivision. The location and final design shall be determined by the City of Santa Fe Transportation Department.	Transportation	Jon Bulthuis

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit B**

**Development Review Team Memorandum**

**THOMAS, ZACHARY E.**

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**From:** ROMERO, JOHN J  
**Sent:** Wednesday, May 06, 2015 2:19 PM  
**To:** THOMAS, ZACHARY E.; KASSENS, SANDRA M.  
**Cc:** SMITH, GREGORY T.  
**Subject:** RE: Ross' peak

Yes to both.

**From:** THOMAS, ZACHARY E.  
**Sent:** Wednesday, May 06, 2015 2:15 PM  
**To:** ROMERO, JOHN J; KASSENS, SANDRA M.  
**Cc:** SMITH, GREGORY T.  
**Subject:** Ross' peak

John and Sandy,

I'm trying to get a handle on the comments for Ross' Peak. Obviously they continue to need a large amount of technical revisions (on all fronts) prior to recordation of the Final Plat. Largely these are staff issues...

In an effort to simplify the primary issues that the Planning Commission deals with, we want to verify that the two Preliminary Subdivision Plat Conditions have been met.

In summary, has the TIA provided adequate information to verify the following:

- 1) The project will be able to contribute its fair share contributions, and
- 2) Appropriate infrastructure phasing has been addressed.

Thanks,

Zach Thomas  
Senior Planner  
Current Planning Division  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909  
505-955-6656

DATE: January 16, 2015  
TO: Zach Thomas, Case Manager  
FROM: Risana B "RB" Zaxus, PE  
City Engineer for Land Use Department  
RE: Cass # 2014-119  
Ross' Peak Final Subdivision Plat

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The following review comments are to be considered conditions of approval:

\*Obtain addresses (Marisa Sargent, 955-6661) and add an address table to the Plat and Development Plan.

\*Add a prominent note to all of the Grading/Drainage Plans stating: "Prior to the start of ANY grading or construction traffic on the site, a barrier of orange construction fencing shall be installed at the limit of the 1% floodplain. No construction nor construction traffic is to be allowed beyond this barrier."

\*Detention ponds shall be planted with a minimum of one tree and two shrubs every 500 square feet, in accordance with Article 14-8.4(H). Provide calculations and document compliance.

\*Once prepared, submit CLOMR for City review prior to submission to FEMA.

\*On Plat sheet 1, Notes & Conditions 10(C) add irrigation (to be maintained by Homeowner's Association).

\*On sheet 13, revise Landscape Notes (first paragraph) and Irrigation Notes (fifth paragraph) to read "responsibility of the property owner of the adjacent lot."

\*On sheet 17, Phase 1 Paving is shown such that Phase 1 would not be accessible via paved streets until Phase 2 Paving is done. Additionally, the Paving Phases seem unrelated to Construction Phases shown on Development Plan. Revise for clarity.

\*On sheet 18, show street trees on all relevant street sections.

\*On sheets 32 and 33, provide site map or similar visual aid so that location of offsite utility improvements can be ascertained.

\*There are numerous discrepancies in street names throughout the plan set. Suggest a full review of all sheets to correct this. Some of the discrepancies include but are not limited to the following:

Title Block of Sheet 34 refers to "Corona de La Montana," a street name that does not appear on Plat. Revise or remove to resolve discrepancy.

Revise sheet 42 to reflect actual street names.

Revise street name discrepancy "Montana Verdes" on Plat sheet 4 and "Montana Aventura" on Plat sheet 2.

Sheet 21 refers to "Pico Raton." This appears to refer to the 24' R/W at the end of Pico Rico. Label this street in plan view on all appropriate sheets, including the Plat.

Development Plan shows a street "Corona de La Montana," which is not shown on the Plat. Resolve this discrepancy.

On sheet 4, remove the "20' Public R/W" identifier for the private alley.

On sheets 27 and 28, provide further identification for "alley 1" and "alley 2," as it is not clear nor identified on a plan view, which is which.

\*Remove from the Grading/Drainage plans the note that states "entire project to be graded in Phase 1." Permits are issued for grading only in conjunction with construction of infrastructure.

\*Street sections shown on sheet 18 have various R/W discrepancies relative to those shown on the Plat. Revise these discrepancies. This includes, but is not limited to the following:

Pico Rico: R/W per plat is 42', street section shows 50'.

Pico Rico hammerhead: Plat shows 24' R/W, street section shows 26'.

Street section of 30' R/W: Where does this apply? Plat shows no 30' R/W.

\*On sheet 3, show the R/W of the Pinal de Jemez western stub.

\*Add a note the plat that: "For single family houses, the front lot French Drain and the rear lot 6" depressed area are to remain as a permanent feature to collect rainwater. No construction, disturbance or re-grading is allowed in these areas."

\*Label on the Plat the alley "private access easements."

\*Prior to recording, a Letter of Credit must be submitted in the amount of an engineer's estimate of cost approved by the City, for all work in public R/W's and for all grading, erosion control, and revegetation.

# City of Santa Fe, New Mexico

## memo

**DATE:** January 16, 2015  
**TO:** Zach Thomas, Land Use Planner Senior  
**FROM:** Noah Berke, CFM, Land Use Planner Senior  
**SUBJECT:** Request for Additional Submittals for Case #2014-119, Ross' Peak Final Subdivision Plat

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Below are comments for the Ross' Peak Final Plat request. These comments are based on documentation and plans dated November 24, 2014:

- As per SFCC 14-8.4 (G)(3). All street trees shall be located in the 5 foot wide planter strip between the edge of curb and the sidewalk.
- Street trees appear to be too far apart. On major arterials, spacing of trees is 35-45 feet and on minor arterials the spacing of trees should be between 25-35 feet. Street trees should be located in a 5 foot wide planter strip between the curb and sidewalk.
- Provide typical for landscaping layout for each separate lot.
- Provide irrigation details. It is suggested that each street tree be tied into the homeowner's irrigation system so that the homeowner is responsible for irrigating the tree once it is planted and established.
- Remove and replace the following plants:

Chinese Pistache  
Palm Yucca  
Desert Willow  
India Hawthorne  
Winter Jasmine

Replace the listed plants with species that are hardy to this region.

- Provide street section for landscaping along all arterials.
- Provide detail of pedestrian access ways and clearly identify locations.
- All landscaping should be coordinated with the traffic plans to make sure that proposed landscaping does not block any traffic signage and does not interfere with sight lines.

- Provide clarification that single family residential lots do not include sidewalk and 5 foot wide planter strip.
- Provide clarification that as per the Ross' Peak Preliminary Plat Approval, the Homeowner's Association will maintain all street trees.



# MEMO

## Wastewater Management Division DEVELOPMENT REVIEW COMMENTS

### E-MAIL DELIVERY

Date: March 9, 2015

To: Zach Thomas, Case Manager

From: Stan Holland, P.E.  
Wastewater Management Division

Subject: Case 2014-119 Ross' Peak Final Subdivision Plat

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**The subject property is accessible to the City public sewer system.  
The plan set reviewed is stamped received 3-2-2015 by the Land Use Department**

**The Applicant shall address the following comments on the plats:**


1. The plat sheet 2 of 2 has a sewer easement arrow incorrectly pointing to the outer edge of the effluent easement.
2. The plat sheet 2 of 6 in the effluent storage tank area does not have the line types for the water-sewer-and effluent easements drawn to scale.

**The following comments shall be addressed:**

1. There are drainage and driving surface concerns for the off-site sewer-water and trail section on the west side of the property shown on sheets 35 and 36 and others. The trail shall be designed to accommodate H-20 loading for sewer maintenance equipment. A concern is for the asphalt trail particularly along its edges and the unpaved area. Maintenance equipment needs to be able to drive off the asphalt trail into the "dirt" area without sinking or breaking off the asphalt edges. The drainage concern is that no indication of how storm water flows will be directed and channeled on the trail section. In addition the grading plan is not complete for the full trail section. Typically dirt driving surfaces for sewer equipment requires a driving surface of 6 inch compacted base course with compacted subgrade.
2. Indicate the extents where the 12 foot wide trail begins and ends.
3. On sheet 36 sewer manhole 11 is not accessible in its current location on the embankment for sewer maintenance equipment.
4. Need to add the Wastewater Division Standard General Notes to the plan set (attached).
5. Note 16 of the Wastewater Division Standard General Notes should be added to the sheets dealing with the off-site sewer and trail.
6. Show all water mains and storm drain structure crossings with clearances in the sewer P&P sheets.

7. Identify the sewer system as public in the title block of the sewer sheets and on the P&P sheets such as "200 feet public sewer".
8. On sheet 44 add note that core drilling is required at the existing tie-in manhole and that the existing manhole may require additional work to accommodate the new connection. Contractor to verify.
9. On sheet 44, it appears permanent or temporary erosion control may be required over top of the new sewer and water lines due to the discharge from the pond. Please evaluate.
10. Manhole 25 and a portion of the sewer line between manholes 25 and 34 are located in a median with trees planted over top. The sewer line shall be relocated or the plantings over top shall be limited to small shrubs.
11. Identify the horizontal separation between the sewer manholes/sewer lines and the storm drain piping and manholes in Calle Pico Rico and Pico Raton near stations 16+00 and 10+00 and sewer manhole 7 in Montana Aventura. The concern is for adequate separation to allow for excavation after the system is installed.

*City of Santa Fe*  
**memo**

**DATE:** January 10, 2015  
**TO:** Zach Thomas, Land Use Senior Planner, Land Use Department  
**FROM:** Dee Beingessner, Water Division Engineer   
**SUBJECT:** Case # 2014-119 Ross' Peak Final Subdivision Plat

---

The proposed development will require a main extension with individual metered service connections for each lot. The water plan for this development must be approved by the water division prior to issuance of an Agreement to Construct and Dedicate for the water main extension.

Fire service requirements will have to be determined by the Fire Department prior to development.

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit C**

- **Preliminary Plat Findings of Fact and Conditions of Approval adopted on September 11, 2014**
- **Planning Commission minutes from August 7, 2014**

ITEM # 14-0893

City of Santa Fe  
Planning Commission  
Findings of Fact and Conclusions of Law

Case #2013-80

Ross' Peak Preliminary Subdivision Plat

Owner's Name- Ross' Peak LLC

Agent's Name- James W. Siebert and Associates

THIS MATTER came before the Planning Commission (Commission) for hearing on August 7, 2014 upon the application (Application) of James W. Siebert and Associates as agent for Ross' Peak LLC (Applicant).

The Applicant seeks the Commission's approval of the preliminary subdivision plat for 204 lots located on 31.99+/- acres, Tracts 12 and 13 of the Las Soleras Master Plan. Tract 12 is zoned R-12 (Residential, 12 units per acre) and Tract 13 is zoned R-6 (Residential, 6 units per acre). The tracts are located south of the Governor Miles Road and Rail Runner Road intersection, immediately east of the Arroyo de los Chamisos.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Commission heard reports from staff and received testimony and evidence from the Applicant and there were no members of the public in attendance to speak.
2. Pursuant to Code § 14-2.3(C)(1), the Commission has the authority to review and approve or disapprove subdivision plats.
3. Pursuant to Code § 14-3.7(A)(1)(b) subdivision of land must be approved by the Commission.
4. Code § 14-3.7 (B)(1) requires applicants for preliminary plat approval to comply with the pre-application conference procedures of Code § 14-3.1(E).
5. Pursuant to Code § 14-3.1(E)(1)(a)(ii), pre-application conferences are required prior to submission of applications for subdivisions unless waived.
6. A pre-application conference was held on June 18, 2013 in accordance with the procedures for subdivisions set out in Code § 14-3.1(E)(2)(a) and (c).
7. Code § 14-3.7(B)(2) requires compliance with the early neighborhood notification (ENN) requirements of Code § 14-3.1(F) for preliminary subdivision plats and provides for notice and conduct of public hearings pursuant to the provisions of Code §§ 14-3.1 (H), and (I) respectively.
8. Code §§ 14-3.1(F)(4) and (5) establish procedures for the ENN.
9. The Applicant conducted an ENN meeting on the Application on July 9, 2013 at the Southside Library at 6599 Jaguar Drive in accordance with the notice requirement of Code § 14-3.1(F)(3)(a).

10. The ENN meeting was attended by the Applicant and City staff; there were nine members of the public in attendance.
11. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report) together with a recommendation that the preliminary subdivision plat be approved, subject to certain conditions (the Conditions) set out in such report.
12. The subdivision will not create new or exacerbate existing nonconformities.
13. The information contained in the Staff Report is sufficient to establish that the Applicable Requirements have been met.

#### The Preliminary Subdivision Plat

14. Code § 14-3.7(B)(3)(b) requires the Applicant to submit a preliminary plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material and in conformance with the standards of Code § 14-9 (collectively, the Applicable Requirements).

#### CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

##### General

1. The proposed preliminary subdivision plat was properly and sufficiently noticed via mail, publication, and posting of signs in accordance with Code requirements.
2. The Applicant has complied with the applicable pre-application conference and ENN procedure requirements of the Code.

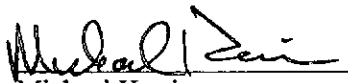
#### The Preliminary Subdivision Plat

3. The Commission has the authority to review and approve the preliminary plat subject to conditions.
4. The Applicable Requirements have been met.

#### **WHEREFORE, IT IS SO ORDERED ON THE 11th OF SEPTEMBER 2014 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE**

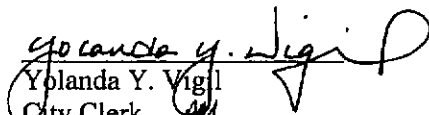
1. That the Applicant's request for preliminary subdivision plat is approved, subject to Staff conditions:
  - a. Staff Conditions #3 and #7 on page 2 of 3 of Exhibit A shall be replaced as follows: The Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo de los Chamisos, shall be constructed during the phase that would include the 103<sup>rd</sup> lot. In the event the CLOMR is not approved,

the Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo del los Chamisos, shall be constructed during the phase that includes the 103<sup>rd</sup> lot, and the Letter of Credit for the construction of infrastructure during that phase shall include the full cost of improvements to the temporary pond such that it will serve as the permanent pond. All work on the phase that includes the 103<sup>rd</sup> lot shall be completed and accepted by the City prior to the issuance of infrastructure permits for the next subsequent phase.

  
Michael Harris  
Chair

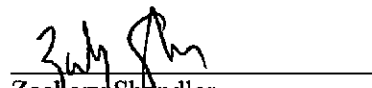
9/11/14  
Date:

FILED:

  
Yolanda Y. Vigil  
City Clerk

9/15/14  
Date:

APPROVED AS TO FORM:

  
Zachary Shandler  
Assistant City Attorney

9/11/14  
Date:

**Ross' Peak Preliminary Subdivision Plat-Conditions of Approval**  
 Planning Commission: Approved per Findings of Fact on September 11, 2014  
 Case #2013-80 – Ross' Peak Preliminary Subdivision Plat

Conditions	Department	Staff
<p>The Traffic Engineer conducted a review of the preliminary subdivision plat and provided the following comments which are noted as Conditions of Approval:</p> <ol style="list-style-type: none"> <li>1. The Traffic Impact Analysis (TIA) did not include calculations for fair share contributions as explained under condition 46C of the Annexation Master Plan (attached). The developer shall revise the TIA to include this. The revised TIA shall be included in the final subdivision plat approvals.</li> <li>2. The developer has been meeting with the City's Public Works Department to determine the appropriate revisions needed for the Roadway Infrastructure Phasing Plan. The completed revised Roadway Infrastructure Phasing Plan, approved by the Public Works Department, shall be finalized by and included in the final subdivision plat approvals.</li> </ol>	Traffic Engineering	John Romero/ Sandra Kassens
<p>The Wastewater Division Engineer shall conduct a review of all proposed wastewater infrastructure prior to approval of the final subdivision plat.</p>	Wastewater Division	Stan Holland
<p>The Water Division Engineer shall conduct a review of all proposed water service infrastructure prior to the approval of the final subdivision plat.</p>	Water Division	Dee Beingsner
<p>The Fire Marshal conducted a review of the above mentioned case for compliance with the International Fire Code (IFC) 2009 Edition. Below are the following requirements that shall be addressed prior to final approval of a subdivision plat.</p> <p>Shall comply with IFC requirements.</p> <ol style="list-style-type: none"> <li>1. Fire Department Access shall not be less than 20 feet width.</li> <li>2. Fire Department shall have 150 feet maximum distance to any portion of the building on any new construction.</li> <li>3. The subdivision shall have water supply that meets IFC requirements.</li> <li>4. All Fire Department turn arounds shall meet IFC requirements and have proper signage.</li> <li>5. May require thru access for emergency vehicles depending on delay of response or water availability.</li> <li>6. All private drive surfaces shall be verified by a registered engineer to be all weather surface and capable of supporting appropriate emergency vehicles.</li> </ol> <p>Additional Fire Department conditions may be added prior to the approval of the Final Subdivision Plat</p>	Fire	Rey Gonzales
<p>The subdivision plat has been reviewed to ensure consistency with the Metropolitan Transportation Plan (MTP), the Metropolitan Bicycle Master Plan (BMP) and Las Soleras Trail Plan. The following conditions are added to ensure connectivity with the trail alignments:</p>	MPO / Roadway and Trails Division	Keith Wilson / Eric Martinez

**Ross' Peak Preliminary Subdivision**      **it-Conditions of Approval**  
 Planning Commission: Approved per Findings of Fact on September 11, 2014  
 Case #2013-80 – Ross' Peak Preliminary Subdivision Plat

Conditions	Department	Staff
<ol style="list-style-type: none"> <li>1. The developer shall design and construct the Arroyo Chamiso Trail identified on the subdivision plan, including connections to the proposed park and streets as shown in the preliminary plan based upon a final design submitted to and approved by the Roadway &amp; Trail Engineering Division prior to final plat recordation.</li> <li>2. Multiuse trail design details shall be in accordance with the AASHTO Guide for the Development of Bicycle Facilities, the MUTCD and applicable ADA guidelines (current additions). Such design details may include, but are not limited to vertical/horizontal geometrics (i.e. alignment and grades – plan and profile), typical sections with pavement details, drainage accommodations and infrastructure, safety rail, adjacent steep slope stabilization, retaining structure details, lighting, signing &amp; striping, street connection details, etc. Trail/street intersections may also require additional review and approval by the City Traffic Engineer.</li> <li>3. The Arroyo Chamiso Trail System shall be provided a minimum 20 foot right-of-way corridor for non-motorized multiuse trail use and be dedicated as public right-of-way in lieu of easement dedication – pedestrian access easements excluded.</li> </ol> <p>The subdivision developer shall comply with all requirements of the signed Santa Fe Homes Proposal.</p>		Alexandra Ladd
<p>The City Engineer for the Land Use Department conducted a review of the subdivision plat and provided the following comments which are noted as Conditions of Approval to be addressed prior to recordation of the Final Plat:</p> <ol style="list-style-type: none"> <li>1. No construction or grading is allowed in the floodplain. All FEMA regulations apply. A Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR) may be submitted to modify the floodplain limits, in accordance with FEMA standards and approval of the City of Santa Fe.</li> <li>2. Prior to the start of ANY grading or construction traffic on the site, a barrier of orange construction fencing shall be installed at the limit of the 1% floodplain. Neither construction nor construction traffic is to be allowed outside within the barrier.</li> <li>3. All required street trees shall be within a 5 foot planting strip between curb and sidewalk.</li> <li>4. Irrigation systems shall be provided for all landscaped area.</li> <li>5. Significant trees shall be preserved or relocated in accordance with SFCC Section 14-8.4(F)(5).</li> <li>6. Qualifying open space, which includes detention ponds, shall be planted with a minimum of one tree and two shrubs every 500 square feet, in accordance with SFCC Section 14-8.4(H). Calculations must be provided at the time of final plat approval.</li> <li>7. The Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo de los Chamisos, shall be constructed during the phase that would include the 103<sup>rd</sup> lot. In the event the CLOMR is not approved, the Primary Park and final phase of the trail on the west side of the property, adjacent to the Arroyo de los Chamisos, shall be constructed during the phase that includes the 103<sup>rd</sup> lot, and the Letter of Credit for the construction of infrastructure during that phase shall include the full cost of</li> </ol>	<p>Affordable Housing</p> <p>Technical Review</p>	<p>Risana "R.B." Zaxus</p>

**Ross' Peak Preliminary Subdivision Plat--Conditions of Approval**  
 Planning Commission: Approved per Findings of Fact on September 11, 2014  
 Case #2013-80 -- Ross' Peak Preliminary Subdivision Plat

Conditions	Department	Staff
<p>improvements to the temporary pond such that it will serve as the permanents pond. All work on the phase that includes the 103<sup>rd</sup> lot shall be completed and accepted by the City prior to the issuance of infrastructure permits for the next subsequent phase.</p> <p>8. Walls and fences must meet the setback and landscaping requirement of SFCC Section 14-8.4(f)(2)(b).</p> <p>9. All proposed Covenants, Conditions and Restrictions (CC&amp;R's) shall reviewed and approved by the Land Use Department.</p> <p>10. A note shall be placed on the Final Subdivision Plat stating that signs shall be placed within all private alleys prohibiting parking within the alleys.</p>		
<p>Water rights shall be transferred to the City no later than 60 days after the approval of the final subdivision plat for each phase or subphase of development. Building permits shall not be issued until adequate water rights are transferred to the City.</p>	Land Use	Amanda Martinez
<p>The necessary infrastructure for each phase of development shall be determined and constructed to the satisfaction of the appropriate City Department or utility.</p>	All Departments	N/A
<p>A note shall be placed on the Final Subdivision Plat that the Homeowners Association shall maintain:</p> <ol style="list-style-type: none"> <li>1. All private alleys and sub-standard street sections serving Lot 1 of Block 1 and Lots 24&amp;25 of Block 9.</li> <li>2. All portions of the Common Area, including landscaping, structures, and other improvements.</li> <li>3. Landscaping within public rights-of-way within or abutting the community.</li> <li>4. Any portion of any additional property as may be dictated by Declarant, the Plat, any contract, covenant, or agreement for maintenance entered into by, or for the benefit of the Homeowners Association.</li> <li>5. All detention ponds within the subdivision which serve as part of the subdivision's storm water drainage system, including associated improvements and equipment.</li> </ol>	Land Use	Current Planning
<p>A bus stop shall be constructed north of Tract 13, along eastbound Governor Miles Road concurrent with the subdivision. The location and final design shall be determined by the City of Santa Fe Transportation Department.</p>	Transportation	Jon Bulthuis

map for the Commissioners.

Ms. Baer said staff would bring a revised phasing plan more tied to development as it happens that John Romero was now reviewing. Infrastructure would be developed in conjunction with tract development as it occurred.

Vice Chair Harris said it was a good summary and acknowledged her last statement which said, "Staff from all City departments continues to work with the developers to ensure sufficient planning and coordination to support appropriate and well-considered growth and good design."

There were no questions or other comments from Commissioners.

8. **Case #2013-80. Ross' Peak Preliminary Subdivision Plat.** James W. Siebert & Associates, agents for Ross' Peak, LLC, requests approval of a Preliminary Subdivision Plat for 204 lots located on ~~56.88~~ 31.99 acres on Tracts 12 and 13 in Las Soleras. Tract 12 was zoned R-12 (Residential, 12 units per acre) and Tract 13 was zoned R-6 (Residential, 6 units per acre). The tracts were located south of the Governor Miles and Railrunner Road intersection, immediately east of the Arroyo de los Chamisos (Zach Thomas, Case Manager)

A Memorandum with attachments, dated July 18, 2014 for the August 7, 2014 Meeting, to the Planning Commission from Mr. Zach Thomas, Senior Planner, Current Planning Division, is incorporated herewith to these minutes as Exhibit #13.

A Memorandum dated August 7, 2014 for the August 7, 2014 Meeting, to the Planning Commission from Mr. Zach Thomas, Senior Planner, Current Planning Division, showing the corrections to the case is incorporated herewith to these minutes as Exhibit #14. Mr. Thomas pointed out that originally in 2013, it referenced a 56-acre amount but the physical residential portion was 33 acres with 204 lots in Tracts 12 and 13 of Las Soleras.

He said this was the first residential component in the Las Soleras MP from 2009 for 12 - 25 acres zoned R-12 to accommodate 164 lots. Tract 13 was 6.73 acres and zoned R-6 to accommodate 40 lots. 52 lots were below the minimum lot size and used common open space to make up the difference with a park and detention ponds on the west side. Governor Miles Road and Rail Runner Road would be improved with planter strips and bike lanes and extended to the appropriate distance south as required by the traffic impact analysis. Conditions of approval included a homeowners association, CC&R's for all portions of the common area, including landscaping and within the public ROW and detention ponds and drainage areas.

For specific components, the Rail Runner Road would be extended south per requirements of the Las Soleras Master Plan. Basically, it would be to the full frontage of the subdivision. As it exists, General Miles Road was along the north. It would be extended further as development occurred in the ongoing phasing amendment. There was a proposed stub out on the east side at Tract 13 because it could become part of the adjacent development to the east.

Emergency access was located on the east at Governor Miles Road with one for each tract.

The master trail plan was developed that identified one primary trail to be built by the developer as well as secondary trails by developers of the individual lots. The primary trail would go from the stub out up to Governor Miles and along the west side. The final location would be determined later. A bus stop would also be developed at Tract 13 on the east side and the specific location would be determined by Santa Fe Trails.

All drainage would be on-site with a primary drainage pond on the west side adjacent to the arroyo and a secondary pond in Tract 13 on the east side.

The location of the primary detention pond was within a 100 Year Flood Plain. In order to do that, the applicant was required to make a Conditional Letter of Map Amendment (CLOMA). They would use a temporary pond to serve the early phases of the subdivision. Staff had conditions about when it could be developed if the CLOMA was received or not received.

There was a set of architectural design standards for Las Soleras adopted as part of the Master Plan that addressed commercial development but not residential. The project was somewhat visible from Interstate 25. The applicant had proposed the residential standards that were in the packet as Exhibit F-1. Those standards would be reviewed further so they were preliminary development standards.

The vast majority of the development would be single family units. 52 were reduced lots to accommodate zero lot lines as attached units in the western part of this development as blocks 5 and 6.

The base block was where the temporary pond was proposed until the detention pond could be established.

A revised condition was added to the packet that served to simplify and replace the conditions in the original packet. It was done as a result of discussions between the applicant and the staff. There were two #3's on page 2 of Exhibit A in Conditions of Approval. Conditions included providing appropriate insurance and timing by the applicant. Trail construction would be concurrent with first phase of the subdivision. The applicant was concerned that constructing the trail in the flood plain would be a challenge so the condition was redrafted to say that the primary park and the final phase of the trail on the west side adjacent to the arroyo "shall be constructed during the phase that would include the 103<sup>rd</sup> lot (roughly half of the development).

He explained that was imposed to ensure the temporary pond would be developed to city standards in the event the CLOMA was not approved, which was part of condition #7. He said it was to provide more assurance that the City, in its letter of credit for the infrastructure, would be guaranteed that this would be developed to full city standards if the primary pond could never be built.

In addition, regarding the trail, the final phase of the trail on the west side adjacent to the arroyo and improvements to the temporary pond, such as that it would serve as the permanent pond would be

required. All work on the sub-phase "shall be received and accepted prior to issuance of city building permits." So those amended conditions replaces the both of those separate conditions.

Staff recommended approval subject to staff's conditions and revised conditions.

#### **Presentation of the Applicant**

Present and previously sworn was Mr. Jim Siebert who provided a series of exhibits. The exhibits are incorporated herewith to these minutes as Exhibit 15. He introduced Mr. John Mahoney, Managing Developer of Las Soleras, LLC.

Mr. Siebert said what happened was that the more intensive commercial was put adjacent to Cernillos Road and the residential went toward the east on the north side of Beckner Road. In terms of roadways, Las Soleras Drive had been constructed to the eastern end of the tract that Presbyterian bought. There were two ways to access; one at Beckner and one at Chamiso. There were two major crossings of Arroyo de los Chamisos. The city utilities locations were shown with water lines all the way through. This was the first phase of residential development and Governor Miles was already there.

He noted that John Romero initiated a discussion on evaluating roads as each phase comes in that would identify the linkages. Mr. Romero's idea was to identify parcels and intensity of development on those that would trigger the need for completing those phases of development. They were getting close and would have to act on the road phasing plan soon by the Commission. He showed current activity showing tracts 12 and 13. He pointed out that the business park to the north was approved at C-2 and the west side was all C-2. To the south was the park and then higher residential density (21 per acre). The zoning on tract 13 was R-6 and a school site.

He referred to the site data in Exhibit 15.

Regarding the flood plain, they proposed a CLOMA because of the low point that had only minor flooding and they shouldn't have trouble getting the CLOMA.

In the interim while the CLOMA was being processed by FEMA, the temporary pond was phase 5. They anticipated it would take about a year to get approval from FEMA and would then catch up development and they might not even need the temporary pond.

He showed the trail system map. Red lines were the city trail system. The first phase would be developed as the first part of the trail system. The blue along Rail Runner Road was a 10' wide trail to complement the city trail system. Las Soleras was obligated to build the trail system to tie in to Chamisos Trail and on to Tierra Contenta. There was a bus stop worked out in the northwest corner.

Regarding water, the light lines indicated where the water lines were located and they would tie them back along the south and up at Governor Miles to provide redundancy.

The sewer was the same thing and he pointed out the locations.

Mr. Siebert said they agreed with all conditions by staff and would answer questions.

#### **Public Hearing**

There were no speakers from the public regarding this case and the public hearing was closed.

#### **Questions from the Commission**

Commissioner Schackel-Bordegary thanked Mr. Siebert for his presentation; it was well received.

She asked Mr. Siebert if she heard him say there would be access points from the trail into the neighborhood. She asked if she was missing a trail graphic in her packet.

Mr. Siebert clarified there was no separate trail graphic in the packet. The details were on the plan but that might be hard to see.

Mr. O'Reilly said sheet L-1 of 2 was the landscape plan and it was easier to see where the trail was proposed on that plan.

Mr. Siebert said the trail started at the roundabout and went along Governor Miles and then south on the west side to Arroyo los Chamisos.

Commissioner Schackel-Bordegary reasoned that it would be outside the subdivision along the sidewalk of Governor Miles.

Mr. Siebert agreed but it was inside the subdivision.

Commissioner Schackel-Bordegary asked what the condition of the roadway was and if the trail would be outside the wall for the subdivision. If so, that was not a nice walking experience.

Mr. Siebert said they were dealing with a new section of the code so a 5' wall there had to have a space between the trail and fence as far out as the wall was high with trees between the trail and the roadway.

Mr. O'Reilly said that was done intentionally at the code rewrite to prevent the canyon effect. So it required a landscape strip.

Commissioner Schackel-Bordegary didn't think they should build those walls anymore. She asked where the cut throughs to the subdivision were located.

Mr. Siebert said on tract 12 there were two access points and an emergency access that was for

pedestrians also. And tract 13 had emergency access which was also pedestrian and led to the bus stop.

Commissioner Schackel-Bordegary thought there needed to be more in between houses. It needs more permeability or making blocks shorter. It makes a huge difference for the neighborhood. She didn't see internal trails and was not suggesting that here. But people shouldn't have to walk all the way around it to get back and forth.

Commissioner Pava asked if 164 was really the maximum they could get here. It looked like they were proposing only half of what they could have put on that tract. He asked if this was market driven or design driven.

Mr. Siebert said they could get a higher density and this was somewhat market driven. And they could ask for a modification later, if needed.

Commissioner Pava noted in the architectural guidelines was encouragement of PV solar and wondered why that was not proposed in tract 13. In tract 12 it would work well.

Mr. Siebert said that was an oversight. It was not the intent to leave them out.

Commissioner Pava asked Mr. Shandler about whether the Commissioners could comment on the covenants.

Mr. O'Reilly said the covenants were included in the packet so Commissioners were welcome to comment on them and propose any modifications to the applicant.

Mr. Siebert explained that the code now require the applicants to submit them.

Commissioner Pava said signs and flags and poles were prohibited. So they couldn't fly the American flag and this would be the only place in Santa Fé where it was not allowed. He also noted that 6-8.16 mentioned solar collectors but it was not in the zoning guidelines.

Vice Chair Harris understood the phasing plan and it was market driven and hoped it didn't go out to 2023. His question was on sequencing of infrastructure improvements. He asked if they were going to scrape the site and then put in all roadways.

Mr. Siebert responded that they would. For Phase 1 as shown it was logical to build off the infrastructure. The utilities had to run to the south. Off-site sewer and off-site water would lie in at the southwest corner point. So some infrastructure was outside of phase 1 and 2 and would have to be built. So they probably would have to do mass grading.

Vice Chair Harris said to staff that if this was market driven and everything worked out for 3-4 years it was okay. But if it went out to 2023 that would create blight.

Mr. O'Reilly said he had put the finger on the problem. It was a constant tension. When moving quickly it was not a problem but with 2008 and 2009 and projects sitting vacant for years it was a problem.

Generally speaking with financial guarantee it included erosion control and with mass grading the City had to require them to keep the ground wet but after infrastructure, they wouldn't prevent them from moving dirt it that needed to happen. Dust had to be addressed by the developer as an enforcement issue. The City could conceivably draw on their letter of credit for erosion and dust control.

Vice Chair Harris appreciated that answer.

Mr. O'Reilly added that at the preliminary level, staff didn't know about cut and fill or if mass grading was required. Before final subdivision, staff would look at that. But if it was required, we have to live with it.

Vice Chair Harris said he heard Mr. Thomas speak to new conditions for the detention pond and park. He thought FEMA would approve it. He asked when the park would be constructed.

Mr. Siebert said it had to be done half way through or put up a letter of credit for both the park and the landscaping within that temporary area.

Vice Chair Harris understood the consequence would be that at that location it would either be built or bonded at the half way point. Mr. Siebert agreed.

Vice Chair Harris pointed out that bonding still wouldn't get the park built.

Mr. O'Reilly said the experience of the city in the past with subdivisions languishing was that lots of times the infrastructure wasn't installed until much later. The city, using the completion policy, was typically focused on the life safety needs. The City didn't typically focus on the amenities but on life safety and with several of them, houses would get started but people could be living there 5-6 years without the infrastructure getting done.

What staff was attempting was to take an optimistic view here. They were developing 204 lots and the City wanted to make sure the amenities could still get built after 103 lots were built and the developer goes under. That was the intent with this. But at what time should they get put in? The half-way point was determined as the reasonable point.

Vice Chair Harris said weeds and dust were issues. But trails and parks were so built into our code that the expectation was really that they were more than amenities. He asked if there was some way to complete the modifications to a development agreement to assure that parks would go in at the half-way point.

Mr. O'Reilly said the timing and phasing of construction were all things this Commission could place conditions on. Inherent in projects, the City could require certain things be put in place or financial guarantees be provided. The City didn't tell a developer how to go about it but when, if it was felt important.

When the City talks about completion policy, it isn't that those things were not important but more about safety of the construction - enough infrastructure to allow the fire department could get in while construction was going on. The Commission could propose an earlier time and get the applicant's position on that.

Vice Chair Harris was concerned in the site plan that there was one principal way in. 164 homes have just one road in. He was looking at Street G that stopped just shy of Rail Runner Road.

Mr. Siebert said the design for highway standards was used by John Romero so Street G wouldn't meet the minimum distance for intersecting. He had originally put a stub out on the west but it wouldn't meet the street distance either.

Vice Chair Harris saw that Street B was their connection to Rail Runner.

Mr. Romero said the access control had a purpose. They were not constructing freeways but they didn't want driveways every hundred feet. There wouldn't be long lines of vehicles on the way out, and in emergencies, the cars could use those emergency points.

Vice Chair Harris asked if those were gated.

Mr. Romero agreed. But in an emergency they would be opened.

Vice Chair Harris still considered the safety of 164 families with only one egress point was problematic.

Mr. Romero said there was a condition that this road meet the access restrictions of a collector road and changing that would require an amendment to the annexation agreement. The annexation agreement required that this road be a sub collector.

Vice Chair Harris asked how the Commission could amend it.

Ms. Baer said it would have to go to Council.

Vice Chair Harris asked what the staff position was on this issue.

Ms. Baer said staff asked the same question and got the same answer.

Vice Chair Harris asked Mr. Thomas if he had any further comments on access.

Mr. Thomas agreed with Ms. Baer that they did speak to this at great length on the single access - basically one stub out that didn't connect through. They had a thorough discussion with Mr. Romero on it and staff felt satisfied with striking a balance and to limit what Rail Runner would become in the future - a minor arterial, and limiting driveways was appropriate. In his experience it would not be a problem for emergency access.

Mr. O'Reilly said there were subdivisions in town laid out this way and one of them had over 300 lots with one exit. Cars were not stacking up trying to get out of it and it had security gates on it.

Commissioner Ortiz said his subdivision never had any issue with it. They had three access points but only two points of entrance.

Commissioner Schackel-Bordegary thought they should call the question. It was preliminary and the Commission had given lots of feedback.

Commissioner Bemis asked if they had kept water run-off confined to the subdivision.

Mr. Siebert said they were using French drains that would recharge the ground but not necessarily for reuse.

Commissioner Ortiz added that apartments fed into those access points as well. It worked pretty well.

Commissioner Schackel-Bordegary said where there were roads people would walk. She was at a loss tonight about this limitation. She asked if it was the best they could do with a new development and answered that it was not.

Mr. Romero said where a pedestrian connection was punched through was the proposed connection.

Commissioner Schackel-Bordegary said that was the answer about Rail Runner being an arterial. She was in favor of thinking what Vice Chair Harris had done but didn't accept that this was what they would have to do with a new development: a driving lane with a wall of fences. No one would want to walk along there. They could walk over to the mall. This was not forward thinking. This was why huge scale plans were not working. This was problematic. If they could isolate and create neighborhoods – she didn't have answers. This was the biggest one that had come to the Commission. There were mixes of uses but if not designed that way, it wouldn't happen. It was about the transportation system. She understood it was more suitable for large employers and a rail station. The Commissioners needed to put their brains together on it. But she couldn't support a piecemeal approach like this.

#### **Action of the Commission**

**Commissioner Pava moved in Case #2013-80, Ross' Peak Preliminary Subdivision Plat, that the Commission recommend approval subject to staff conditions as revised during this session. Commissioner Padilla seconded the motion.**

Commissioner Villarreal asked if the motion included the oversight question that the client said they would consider. Commissioner Pava agreed.

Vice Chair Harris said it needed to be spelled out.

Mr. O'Reilly agreed. The maker or seconder should articulate those for the record.

Commissioner Villarreal said the revision would include solar PV between the two lots and the oversights.

Mr. Siebert said it was an oversight in his presentation of Commissioner Bemis' concern about capturing water in the lots which was shown on the plan.

On the covenants, he said they would examine and see why there was a difference between Tract 12 and Tract 13 on solar.

**Commissioner Pava amended his motion to Include allowing solar PV on Tract 12 and Tract 13.**

Vice Chair Harris proposed a friendly amendment to direct staff to develop a mechanism to develop one of the park sites at the build out of 104 homes point.

Ms. Baer said that was already what the condition of staff said.

Vice Chair Harris said he had heard at home 104 the park would have to be built or a bond submitted.

Ms. Baer said at the end of phase 1&2 they would have to do the redesign and move the pond if the primary pond was allowed.

Mr. O'Reilly asked if it was the Commission's intention not to change the condition on timing but that the park must be built and not bonded for.

Vice Chair Harris agreed.

Mr. O'Reilly said that would require the Commission to add a condition of approval to require the agreement to build the improvements require the developer provide not a financial guarantee for the park at that point but actually to build it. Since that was not what applicant agreed to do the Commission should ask the applicant to respond.

Mr. Siebert asked for a moment to confer with his client.

Mr. Siebert responded that the short answer was yes.

**Commissioner Pava said he accepted the friendly amendment to require building the park instead of providing a financial guarantee. Commissioner Padilla also agreed.**

**The motion, as amended passed by majority (4-2) roll call vote with Commissioner Padilla, Commissioner Pava, Commissioner Villarreal and Commissioner Ortiz voting in favor and Commissioner Bemis and Commissioner Schackel-Bordegary voting against.**

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit D**

**Applicant Submittals**

# City of Santa Fe, New Mexico

## memo

**DATE:** May 14, 2015 for the May 21, 2015 Meeting

**TO:** Planning Commission

**VIA:** Lisa Martinez, Director, Land Use Department  
Greg Smith, AICP, Director, Current Planning Division

**FROM:** Zach Thomas, Senior Planner, Current Planning Division

- ✓ **Case # 2014-124. Pulte Las Soleras General Plan Amendment.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use Map designations for: 12.92 acres from High Density Residential to Low Density Residential; 14.95 acres from Mixed Use to Low Density Residential; and 3.93 acres from Medium Density Residential to Low Density Residential. The property is currently vacant and located within the Las Soleras Master Plan. (Zach Thomas, Case Manager)
- ✓ **Case #2014-123. Pulte Las Soleras Master Plan Amendment.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of amendments to the Las Soleras Master Plan. Amendments include: the realignment of roads, reconfiguration of open space and trail, and the reconfiguration of land tracts. (Zach Thomas, Case Manager)
- ✓ **Case #2014-125. Pulte Las Soleras Rezoning.** James W. Siebert and Associates Inc., agent for The Pulte Group, requests Rezoning of: 12.92 acres from R-21 (Residential - 21 units per acre) to R-6 (Residential - 6 units per acres); 14.95 acres from MU (Mixed-Use) to R-6 (Residential - 6 units per acres); and 3.93 acres from R-12 (Residential - 12 units per acre) to R-6 (Residential - 6 units per acre). The property is currently vacant and located within the Las Soleras Master Plan. (Zach Thomas, Case Manager)
- ✓ **Case 2014-126. Pulte Las Soleras Lot Line Adjustment.** James W. Siebert and Associates Inc., agent for The Pulte Group, requests approval of lot line adjustments within the Las Soleras Master Plan to reconfigure land tracts consistent with the proposed General Plan Amendment and Rezoning. The proposed lot lines coincide with anticipated phasing of future single-family residential subdivisions. (Zach Thomas, Case Manager)

*Exhibit 2\**

✓ **Case #2015-08. Pulte Las Soleras Preliminary Subdivision Plat.** James W. Siebert & Associates, agent for The Pulte Group, requests approval of Preliminary Subdivision Plat (77 lots) for Phase I (Units 1 and 2) of development associated with the Pulte Master Plan Amendment, General Plan Amendment, and Rezoning. Unit 1 of the subdivision is identified as "Traditional" development while Unit 2 is identified as "Age Targeted" gated development. The proposed subdivision is 30.9 acres with an average density of 2.49 units per acre. The Preliminary Subdivision Plat also includes a variance request for disturbance of 30 percent and greater slopes and an alternative street section design. (Zach Thomas, Case Manager)

✓ **Case # 2015-09. Pulte Las Soleras Electrical Transmission Line Relocation.** James W. Siebert & Associates, agent for The Pulte Group, requests approval to relocate an existing 115kv electrical transmission line within the Las Soleras Master Plan as the part of the greater Pulte Group Master Plan Amendment, General Plan Amendment, Rezone and Subdivision request. The proposed relocation will follow the future Beckner Road alignment. (Zach Thomas, Case Manager)

## **I. RECOMMENDATION AND SUMMARY**

Staff's analysis identifies differences from the approved master plan, and evaluates the extent to which the proposed changes are consistent with applicable land use policies and development standards. Typically, the staff report provides project analysis in the context of development standards and applicable General Plan Policies and culminates in a recommendation of either approval or denial. That format is suitable for an average project of limited scope.

Because these applications have the potential to fundamentally change and direct land use policies in a large master planned area, the staff report does not include specific recommendations for approval or denial. The Commission's actions should center largely on a discussion of major land use and land development policy issues, rather than simply a review to ensure consistency with basic development standards and General Plan Policies. As such, this project opens up for discussion the following fundamental questions regarding land use and growth:

- Which of the applicable General Plan policies should be given more weight in the determination to approve or deny the applications?
- Have market circumstances changed to such a degree since the adoption of the Las Soleras Master Plan as to warrant the proposed change?
- Should current development proposals be accommodated over what has been the long terms plan for an area?

A separate motion is needed for each of the various applications. If the Commission determines that the applications should be approved, appropriate conditions of approval are suggested in Exhibit A. Note that conditions of approval would not apply to the General Plan amendment. Each entitlement request and the action to be taken by the Planning Commission are listed below:

- Case # 2014-124 Pulte Las Soleras General Plan Amendment – The Planning Commission will make a recommendation to the City Council regarding the approval or denial of the change to land uses.
- Case # 2014-123 Pulte Las Soleras Master Plan Amendment – The Planning Commission will make a recommendation to the City Council regarding approval or denial of the road realignments, trail realignments and 20-acre park relocation and reduction.
- Case # 2015-125 Pulte Las Soleras Rezoning – The Planning Commission will make a recommendation to the City Council regarding the approval or denial of the change to zoning.
- Case # 2014-126 Pulte Las Soleras Lot Line Adjustment – The Planning Commission will take final action to approve or deny the lot line adjustment that is conditional upon the City Council's decision regarding the rezoning.
- Case # 2015-08 Pulte Las Soleras Preliminary Subdivision Plat – The Planning Commission will take final action to approve or deny the Preliminary Subdivision Plat that is conditional upon the City Council's decision regarding the electrical transmission line relocation.
- Case # 2015-09 Pulte Las Soleras Electrical Transmission Line Relocation – The Planning will make a recommendation to the City Council regarding the approval or denial of the relocation of the electrical transmission line.

In taking these actions, the Planning Commission may wish to consider the below basic summary of the pro and con arguments for and/or against the project:

#### **Project Benefits**

- The project would allow for development to occur at the moment thereby providing an incremental economic benefit in the near term.
- The project would provide housing single-family housing stock to middle income and 55+ age group residents of Santa Fe.
- The project would possibly provide housing stock to future residents of Santa Fe, thereby providing an incremental economic benefit.

#### **Negative Impacts**

- The project would reduce the diversity of housing types within the Las Soleras Master Plan, which is contrary to General Plan Policy.
- The project would replace approximately 30 acres of High Density and Mixed Use zoned land with development at a density of approximately 2.8 dwelling units per acre.
- The project would eliminate approximately 13 acres of active park space. However,

this may be off-set by the proposed dedication of an 11 acre school site.

- The project would reduce the ability of the Las Soleras Master Plan to provide adequate high density zoned land in close proximity to commercially zoned land that is crucial to a meaningful jobs-housing balance consistent with General Plan Policy.

## **II. APPLICATION OVERVIEW**

The various applications are intended primarily to accommodate the Pulte preliminary subdivision plat, which would be the second proposed residential development within the Las Soleras Master Plan. The original master plan, zoning and annexation agreement were approved by the City of Santa Fe on February 11, 2009. The master plan encompasses 539 acres and includes a mix of uses including: low, medium and high-density residential; community and regional commercial; business industrial park; mixed-use; institutional uses; office and open space land uses.

The applications encompass 104 acres in the northeastern area of the plan, and would involve significant modifications to the approved plan, including:

- Substantially reduce the extent of mixed use development within walking distance of the proposed Railrunner transit station and commercial areas surrounding the station.
- Substantially reduce the number of medium- to high-density dwelling units, and increase the number of low-density units, resulting in an overall reduction in the number of units provided.
- Introduce an “age targeted” gated community intended to serve primarily residents over 55 years of age.
- Realign trails to skirt the age-targeted community
- Realign three of the project’s primary streets: Rail Runner, Dancing Ground and Walking Rain, decreasing the level of connectivity provided in the approved plan
- Provide approximately 7 acres of additional active park area south of the Ross’ Peak subdivision and an additional 11 acre school site on the south side of Beckner Road, in lieu of 20 total acres of additional active park area that was required by the original master plan approval.
- Reduce the open space buffer between the Pulte subdivision and the existing Nava Ade subdivision to the north.
- Change the jobs/housing balance for the master plan area, possibly increasing the amount of vehicle miles traveled (VMT) and resulting in less-efficient use of street and utility infrastructure.

Located immediately east of the existing Santa Fe Outlet Shopping Center, Los Soleras was planned to serve as a regional commercial hub along the Cerrillos Road Corridor as well as an internal mixed-use development that would ultimately provide for a variety of residential densities, actively developed parks, and local retail and employment opportunities to serve future residents of the plan area.

To date, development within Las Soleras consists of a gas station, bank, and fast food restaurants on Tract 4A along Cerrillos Road as well as a Veterans clinic, on Tract 28, just past the outlet stores on Beckner Road. With the subject property constituting the northeastern

boundary of the plan area, property to the immediate north of the subject site is outside of the Las Soleras Master Plan and is either zoned R-5 (Residential – 5 units per acre) or the existing Nava Ade residential subdivision which is developed at a density of approximately 3 dwelling units per acre.

### III. DISCUSSION AND ANALYSIS

While it is centered on a two-phased development proposal to construct single family homes, the proposed project comprises six different entitlement requests, and each request involves a variety of individual parts. This development proposal can be best understood in terms of the following three primary components which encompass the various entitlements:

- **Land Use Component:** This involves the General Plan Amendment and Rezone requests.
- **Master Plan Component:** This involves the Master Plan Amendment application for the reconfiguration of the roads and trails as well as the reduction of park space.
- **Subdivision Component:** This involves the Preliminary Subdivision Plat and the Electrical Transmission Line Relocation.

This report breaks the project down into the above noted primary components so that the overall project can be understood from a comprehensive land use perspective rather than a myriad of small unrelated parts and development standards.

#### A. Land Use Component:

The 104 acres within the proposed Pulte Development are currently divided among the following designations on the General Plan Future Land Use Map:

- 53.85 acres of Medium Density Residential;
- 14.95 acres of Mixed Use;
- 12.92 acres of High Density Residential;
- 22.77 acres of Low Density Residential.

The General Plan Amendment and Rezone requests encompass an area of 31.73 acres within the 104 acre Pulte Development site.

**Exhibit D** illustrates the entire Las Soleras Master Plan. The colors represent the General Plan Future Land Use Map designations, and the zoning is noted by the text within each tract of land, which is labeled by a circled number. The proposed 104 acre Pulte development site is outlined in blue and encompasses 12.92 acres designated High Density Residential on the Future Land Use Map and zoned R-21 (Residential – 21 units per acre); and 14.95 acres designated and zoned Mixed Use. An additional 3.93 of acres Tract 15 is also included in the General Plan and Rezone requests to extend the requested land and zoning boundaries to the western property line associated with Preliminary Subdivision Plat. Tract 15 has a Future Land Use Map designation of Medium Density Residential.

The proposed changes in land use and zoning eliminate a significant portion of the High Density Residential and Mixed Use within the Master Plan, and mark a fundamental shift away from the original intent of the Master Plan. The Master Plan is largely defined by a

variety of residential densities on the higher end of the density spectrum, which would support a variety of commercial uses and employment opportunities.

The General Plan Amendment and Rezone requests are discretionary on the part of the Governing Body (City Council). Chapter 14 of the Santa Fe City Code (Development Code) establishes approval criteria for the approval of General Plan Amendment and Rezone requests, which are evaluated in Sections IV and V of the staff report. **The Commission makes a recommendation to the City Council regarding the approval or denial of the General Plan Amendment and Rezone.**

**B. Master Plan Component:**

The proposed Master Plan Amendment seeks to realign the configuration of road and trails within the Master Plan as well as to amend Condition of Approval #45 which requires the development of 20 additional acres of active park space within the Master Plan. The below subheadings provide discussion and analysis on the specific components of the Master Plan Amendment. **The Planning Commission should consider each component of the Master Plan Amendment and will make a recommendation to the City Council regarding the approval or denial of the Master Plan Amendment.**

**1. Traffic Circulation and Road Realignment:**

The originally approved alignment of Dancing Ground, Walking Rain and Rail Runner Roads would be changed by the proposed design of the project. A Traffic Impact Analysis report was prepared by the applicant's consultant, and was reviewed by the Traffic Engineering Division.

Currently, the Monte del Sol Charter School is only accessed through the Nava Ade subdivision via Walking Rain Road. The configuration has resulted in traffic problems within the subdivision during morning and afternoon hours (school drop-off and pick-up). The Master Plan originally anticipated the extension of Walking Rain to Beckner Road, to alleviate the traffic associated with the school. The proposed realignment has reconfigured Walking Rain to connect to Dancing Ground. Additionally, Dancing Ground has been realigned to Beckner Road rather Rail Runner Road as originally approved. This configuration would allow traffic to loop from the school to Dancing Ground and back up through the Nava Ade subdivision or south to Beckner Road.

This reconfiguration has caused two primary concerns on the part of the Nava Ade neighborhood. First is concern that the linking Walking Rain to Dancing Ground will not adequately direct school traffic away from the Nava Ade subdivision. Second is the concern that linking Dancing Ground directly to Beckner Road will exacerbate traffic within Nava Ade as it will be used as a cut through for traffic from Governor Miles to Beckner Road. Numerous comments from the Nava Ade subdivision are included in **Exhibit E**, including a comment packet submitted by the Nava Ade Homeowners Association Board of Directors.

The Traffic Impact Analysis completed for the project confirmed that the realignment would have minimally more impact on traffic within Nava Ade than the original alignment of Dancing Ground and Walking Ground. Furthermore, the Traffic

Engineering Division has proposed conditions of approval to ensure the payment of all fair share improvement costs and the development of all necessary offsite traffic improvements.

2. Pedestrian Trail Realignment:

A trails plan was adopted as part of the Las Soleras Master Plan. The plan identified Primary Trails to be constructed by the prime developer and Secondary Trails to be constructed by developers of individual lots. The trail plan identifies a secondary trail that is to be constructed in conjunction with the proposed subdivision along the path of the existing PNM Electrical Transmission Line easement. Rather, the applicant proposes to realign the trail along Beckner Road and then north towards the Nava Ade Subdivision along the alignment of the proposed relocated electrical transmission line. The complete amended trails plan is identified as **Exhibit F**

3. Park Acreage Reduction:

The Governing Body, in its approval of the Las Soleras Master Plan, stipulated that an additional 20-acre park be located within the Master Plan at a location to be determined by the Planning Commission. The Planning Commission subsequently approved the location of the park at its November 4, 2010 meeting. The location of the park is outlined in red on **Exhibit D**. The Planning Commission also approved an alternative method of compliance involving the distribution of park land into smaller parcels provided the Land Use Department, Parks Department, MPO and School District recommends approval of such redistribution. The applicant however has requested a reduction of the 20-acre park based on the proposed density of the development. The proposed reduction constitutes an amendment to the initial requirement of the Master Plan.

Based on a calculation of the proposed density and the park dedication requirements within the Development Code, a reduction of approximately 13 acres of active park space is proposed. The 7 acres would be added to the 21.4-acre regional park within the Las Soleras Master Plan. The park reduction is also accompanied by an additional dedication of an 11 acre school site.

The Land Use Department, Parks Department, MPO and School District have reviewed the proposed reduction of park space in the context of what was required per the approved Master Plan. The original requirement for the additional 20 acres of active park was not based as a calculation of density or requirements of the Development Code. Rather, it was a condition of approval of the Master Plan for the benefit of the public and community. As such, the reduction of park space based upon a density calculation may not serve to benefit the public. However, the proposed school site is an added public benefit.

C. Subdivision Component:

Approximately 298 lots are anticipated at full build out of the proposed Pulte development. However, the proposed Preliminary Subdivision Plat only constitutes 77 lots within units 1 and 2 of the development. The following points note primary features and components of the

proposed Preliminary Subdivision Plat:

- The subdivision consists of 77 lots ranging in size from approximately 6,300 to 12,500 square feet within Tract 15 of the Las Soleras Master Plan.
- The subdivision consists of two units. Unit 1 consists of 57 lots within a public subdivision and units 2, consists of 20 lots within a private gated “age-targeted” community. However, a total of 165 lots within the gated subdivision and 133 lots within the non-gated/public subdivision are anticipated at total build out of the 104 acre development.
- A reduction of street width within the subdivision is proposed. However, a condition of approval is proposed to require internal residential streets within the subdivision to be constructed to City standards for 56 foot right-of-way sub-collector streets with parking on both sides, including curb and gutter, 5-foot planter strip and 5-foot sidewalk.
- Rail Runner Road will be constructed with two 11-foot travel lanes, a 14-foot landscaped median, 5-foot bike lanes, curb and gutter, 5-foot planter strips, 10-foot trails.
- While homeowners association and covenants, conditions and restrictions (CC&R’s) and architectural guidelines are proposed, project specific CC&R’s and guideline have not been submitted for review.

The proposed Preliminary Subdivision Plat is consistent with the Future Land Use Map designation and zoning of Tract 15. **As such, the Planning Commission’s action in the case will actually approve or deny the Preliminary Subdivision Plat**, with several caveats. The design of the Plat requires approval by the City Council of the requests to:

- Relocate the electrical transmission line.
- Relocate parks and road realignments as proposed in the master plan application.
- Provide an alternate compliance exception to the affordable housing regulations.

Other components of the Preliminary Subdivision are discussed under the subheadings below.

1. Connectivity and Gated Communities

Various General Plan policies encourage roads and trails that provide connections within and between neighborhoods.

Although they are not specifically prohibited by the Development Code, the following General Plan policy speaks to the prohibition of gated subdivision:

*Guiding Policy 5-1-G-5: Improve the community orientation of new residential developments.*

*A community orientation calls for greater attention to the relationship between residences, streets, and shared spaces, and does not require sacrifice of privacy or amenities. Gated neighborhoods isolate parts of the community from other and will*

*not be allowed.*

While the General Plan seeks to discourage the use of gates within new residential development, the Development Code does not expressly prohibit gated communities by ordinance. Therefore, the Planning Commission could choose to either allow or prohibit the proposed use of gates.

2. Drainage, Open Space, and Landscaping

On site drainage will be accommodated with detention ponds located to the east and north of Unit 1 of the subdivision. Code Section 14-8.4(E)(1)(b)(i) requires detention and retention ponds to be integrated landscape features, rather than single-purpose flood control ponds.

All proposed landscaping has been reviewed for compliance with City landscape standards. Conditions of approval are proposed to ensure that landscaped planter strips, open space and retention ponds will be landscaped to City standards.

3. Restrictive Covenants and Architectural and Design Standards

The Las Soleras plan area consists of variable mild rolling slopes with the overall area sloping in a northwesterly direction towards the Arroyo de los Chamisos, which forms the northwest boundary. Cerrillos Road forms the western boundary and U.S. Interstate 25 forms the southern boundary of the plan area. The relative raised elevation of the Interstate provides those traveling with a sweeping view of the entire Las Soleras Master Plan area. As the southern gateway to Santa Fe, the aesthetics of future development within Las Soleras are important to maintaining the visual and architectural character of the City. Design standards were adopted as part of the master plan for commercial development, but do not apply to single-family residential developments.

The applicant has proposed restrictive covenants and homeowner association bylaws, which include architectural controls. The applicant has stated that such documents will be patterned after another Pulte development named Manor at Mirehaven in Rio Rancho. No covenants or architectural guidelines specific to the proposed development have been submitted or reviewed.

4. Water

The Las Soleras Annexation Agreement requires water rights be transferred to the City no later than 60 days after the approval of the final subdivision plat for each phase or subphase of development. The Land Use Department recommends a condition of approval to ensure that building permits will not be issued until adequate water rights have been transferred to the City.

5. Santa Fe Homes Program

The applicant is proposing an alternative means of compliance for the Santa Fe Homes Program. The City Council must approve the alternative means of compliance if staff

determines Santa Fe City Code requirements have been met. The alternative means of compliance will be considered by the City Council during consideration of the other discretionary entitlements (i.e. General Plan Amendment, Rezone and Master Plan Amendment). The applicant has requested that the subdivision not be required to provide at least 20% of the units to qualified buyers at affordable purchase prices as provided in Section 14-8.11.

6. Electrical Transmission Line Relocation

The design of the proposed subdivision requires the relocation of the PNM electrical transmission line that currently traverse the site. SFCC §14-6.2(F)(7) requires submittal of an application for review and recommendation by the Planning Commission for approval by the Governing Body. All application submittal requirements pursuant to SFCC §14-6.2(F)(10) have been submitted and reviewed by Land Use Department and PNM. Both the Land Use Department and PNM find the proposal acceptable from a conceptual level. However, PNM has stated that variations may be needed to the conceptual design which cannot be determined until further study is done in coordination with the developer. Further study will not be completed until an executed agreement has been entered into with the developer.

7. Early Neighborhood Meeting

The Early Neighborhood Notification (ENN) meeting was held on December 16, 2014. Approximately 60-70 people, including both applicant and neighbors, were in attendance. A significant level of discussion centered around the proposed road realignments and 20 acre park relocation. The ENN notes are attached as **Exhibit C**.

A second ENN meeting was held on May 11, 2015 specifically for the proposed reduction of the required additional 20 acres of active park that was a condition of approval of the Las Soleras Master Plan.

#### IV. GENERAL PLAN AMENDMENT APPROVAL CRITERIA

The 104 acres within the proposed Pulte Development are currently divided among the following land use designations: 53.85 acres of Medium Density Residential; 15.06 acres of Mixed Use; 12.91 acres of High Density Residential; and 22.77 of Low Density Residential. The requested General Plan Amendment proposes to change all Mixed Use, High Density Residential and a portion of the Medium Density Residential to Low Density Residential. Section 14-3.2(E)(1) sets out the following General Plan Amendment criteria for approval. [The approval criteria are shown in *italic font*.]

(a) *consistency with growth projections for Santa Fe, economic development goals as set forth in a comprehensive economic development plan for Santa Fe and existing land use conditions such as access and availability of infrastructure;*

**Applicant Response:** Prior to the recession in 2008, the City, over a ten year period issued 518 single family residential permits per year on the average. For the last

several years the building permits for single family residential dwelling has been significantly below that number. From 2009 to November of 2014, 168 single family housing permits were issued per year on the average over a 6 year period. There is a pent up demand that has not been satisfied in the time period after 2009, or when the national economy was beginning to recover. This proposed Pulte project will begin to make up for the deficit in more moderately priced housing that has occurred over the last few years. The City General Plan encourages housing to be located in proximity to employment. In this case the more immediate employment opportunities that are associated with the Las Soleras development are the Presbyterian Hospital and the State Offices that are planned south of Beckner Road.

Utility and road infrastructure is made available through the extension of Beckner Road and water and sewer lines that are currently located within the boundary of the subject parcel.

**Staff Response:** While providing economic benefit in the form of construction jobs and tax revenue generated by the future residents of the proposed subdivision, the proposed General Plan Amendment is lower than the density initially planned in the Las Soleras Master Plan Area. The densities in the Master Plan area were originally anticipated to support a localized economy associated with the Commercial land uses with the Master Plan. The lower density may reduce the ability to have a population density adequate to serve the mix of commercial and employment opportunities originally anticipated for the area. Furthermore, the lower density will result in a less efficient use of the necessary infrastructure planned for the area.

*(b) Consistency with other parts of the general plan;*

**Applicant Response:** This request for the General Plan Amendments is located within Staging Area One as defined in the City General Plan. As set forth in the City General Plan: "Staging Area One covers the first period following adoption of this plan. Staging Area One encompasses the highest priorities for urban growth, which are Infill (including the Agua Fria are south of the Santa Fe River), Approved Development, and the Future Growth Area south of Rodeo Road."

**Staff Response:** General Plan Policies largely speak of providing a mix of commercial uses in close proximity to residential uses of varying densities, such as proposed in the Las Soleras Master Plan. The proposed General Plan Amendment will allow for lower density development than was otherwise planned for by the Master Plan.

*(c) the amendment does not:*

*(i) allow uses or a change that is significantly different from or inconsistent with the prevailing use and character in the area; or*

**Applicant Response:** The proposed rezoning allows for residential densities that are

consistent with the densities found in Nava Ada, which is located immediately north of the larger Pulte Project.

**Staff Response:** The proposed General Plan Amendment is consistent with the prevailing use and character in the area as the only nearby development that exists is the Nava Ade subdivision to the immediate north. However, the Las Soleras Master Plan assumed and planned for a greater variety of density and housing options than those in the Nava Ade subdivision. The proposed amendment would allow for development similar to that of the Nava Ade subdivision.

(ii) *affect an area of less than two acres, except when adjusting boundaries between districts; or*

**Applicant Response:** The area encompassed by the Pulte project consists of 104.41 acres which is well in excess of two acres of land.

**Staff Response:** The proposed General Plan Amendment exceeds two acres.

(iii) *benefit one or a few landowners at the expense of the surrounding landowners or the general public;*

**Applicant Response:** Since the closest existing residential dwellings have an average density that is consistent with the density proposed within the Pulte project this rezoning does not adversely affect the residents of Nava Ada. It is a benefit to the public since it continues the construction of the road network that is part of the MPO recommended roadways with the MPO planning area, eventually directing the traffic away from Nava Ada which is continuing to experience an increase in traffic through their neighborhood.

**Staff Response:** The proposed General Plan Amendment will not benefit a few landowners at the expense of surrounding landowners. However, the proposal may impact the general public as the lower density may impact the ability to have a viable mixed use development in the area as originally planned by the adoption of the Las Soleras Master Plan.

(d) *an amendment is not required to conform with Subsection 14-3.2(E)(1)(c) if it promotes the general welfare or has other adequate public advantage or justification;*

**Applicant Response:** The General Plan Amendment promotes the general welfare by providing for housing within the Stage One area of the City General Plan. The completion of infrastructure and the availability of residential housing is a complement to the employment that is anticipated to the west and south of this project.

**Staff Response:** See response to (c)i-iii. No other general welfare or adequate public advantage or justification is known.

- (e) *compliance with extraterritorial zoning ordinances and extraterritorial plans;*

**Applicant Response:** This criterion is no longer applicable since the City and County joint agreement has eliminated the extraterritorial jurisdiction.

**Staff Response:** Not applicable.

- (f) *contribution to a coordinated, adjusted and harmonious development of Santa Fe that in accordance with existing and future needs best promotes health, safety, morals, order, convenience, prosperity or the general welfare, as well as efficiency and economy in the process of development; and*

**Applicant Response:** The requested amendment is a logical and planned extension of City roads and utilities permitting housing that is currently in demand. The housing that is proposed will promote the general welfare since it provides for market rate housing that is in demand for both working families and retirees. The retirees assist the local economy by their payment of property and gross receipts taxes while having a minimal impact on City services. The working families contribute to the general welfare by their employment in the community and active participation in the community activities and payment for local good and services.

**Staff Response:** The existing Future Land Use Designations were assigned as part of a comprehensive Master Plan. The land uses represent a variety of residential densities that were intended to contribute to the coordinated and harmonious development of Santa Fe and promote a healthy economy by providing a region with both housing and employment opportunities.

The proposed General Plan Amendment will lower the residential density below that which was original planned by the Las Soleras Master Plan. Such a reduction of density may reduce the ability of the master plan to deliver the coordinated mix of development intended to promote the harmonious development within this area of the City.

- (g) *consideration of conformity with other city policies, including land use policies, ordinances, regulations and plans.*

**Applicant Response:** Various amendments to the Las Soleras Master Plan are proposed which are still consistent with the long term goals of the City which are:

- Continue extension of the road and utility infrastructure in the southern urban area.
- Provide for a range of housing types.
- Provide for housing in proximity to employment.

- Provide for recreational opportunities and walkable streets

The road alignments that are part of the Pulte plan are incorporated into the amendments to the Las Soleras Master Plan. The revised road alignments continue to accomplish the policies set in the Las Soleras Master Plan, which are:

1. Continuous connection from Governor Miles Road to Becker Road from Rail Runner Road.
2. Extension of Dancing Ground Road in Nava Ada to connect with the Las Soleras road system and adjoining road network.
3. Alternative road access to Monte del Sol School through Las Soleras.

**Staff Response:** Development under the lower density land use designation proposed by the Land Use Amendment would largely conform to applicable ordinances and regulations related to development standards. Also, the development would ensure the development of roads and supporting infrastructure within the immediate vicinity of the project as anticipated by the Las Soleras Master Plan. The proposed change to lower density land use however would impact the diversity of housing types originally anticipated by the Master Plan and therefore the jobs and housing balance that was one of the goals of the Las Soleras Master Plan and is expressed by General Plan policies. The following General Plan Policies speak to the importance diversity of land uses in proximity.

**Guiding Policy 3-G-2:** *There shall be a mix of uses and housing types in all parts of the City.*

**Implementing Policy 3-I-6:** *Require the inclusion of employment and neighborhood centers in future development/Planning Area.*

(2) Additional Criteria for Amendments to Land Use Policies:

*In addition to complying with the general criteria set forth in Subsection 14-3.2(E)(1), amendments to the land use policies section of the general plan shall be made only if evidence shows that the effect of the proposed change in land use shown on the future land use map of the general plan will not have a negative impact on the surrounding properties. The proposed change in land use must be related to the character of the surrounding area or a provision must be made to separate the proposed change in use from adjacent properties by a setback, landscaping, or other means, and a finding must be made that:*

- (a) *the growth and economic projections contained within the general plan are erroneous or have changed;*

**Applicant Response:** The assumption on the type and density of housing proposed in the Las Soleras Master Plan has proven to be inconsistent with the market place. Since

2009 when Las Soleras was approved by the City Council developers have not been interested in the higher density residential uses that are permitted by the underlying zoning, especially the R-12 zoning district. There has been interest on the part of apartment developers but this R-12 zoned area which makes up the majority of the Pulte development is not conducive to apartment since this is a transitions zone from the existing lower density residential use to the north to commercial uses on the south side of Becker Road.

**Staff Response:** It is not know at this time if growth and economic projects contained in the General Plan are erroneous. While it is true the economic recession impacted every type of housing construction, the City Land Use Department is currently witnessing a resurgence of development activity related to housing development. This includes the development of low, medium and high density residential. In particular, there had been increased activity related to high density residential development. The is noteworthy as the General Plan Amendment proposes to change approximately 13 acres of High Density Residential land to Low Density Residential as well as approximately 15 acres of Mixed-Use land to Low Density Residential.

*(b) no reasonable locations have been provided for certain land uses for which there is a demonstrated need; or*

**Applicant Response:** There are other reasonable locations for the type of lower density residential development in Santa Fe. There are very few parcels of vacant land this size where the adjoining vacant lands have a master Plan that includes a mix of uses, a road and utility plan that includes connections to existing roads and utilities that have sufficient capacity to provide for the long term infrastructure for a project of this size.

**Staff Response:** There are a variety of locations within the City which are suitable for low density development. The Las Soleras Master Plan was specifically designed to provide land for a variety of residential densities, a large portion of which were in the medium to high density residential range. The proposed land use amendments changes the originally anticipated density range of the Master Plan to a lower density.

*(c) conditions affecting the location or land area requirements of the proposed land use have changed, for example the cost of land space requirements, consumer acceptance, market or building technology.*

**Applicant Response:** After being on a substantial decline since 2007, single family housing permits are starting to recover. The demand destruction for single family dwellings after 2007 was the result of the difficulty in acquiring financing for the home purchase and the insecurity created by a significant decline in the national, regional and local economy. The demand for housing is beginning to improve again in the local economy. The demand for owner occupied housing does not include the high

density condominium type ownership that would take place with the higher density zoning the presently exists within the Pulte boundary. Retirees would prefer single family homes with few if any changes in floor elevation and minimal upkeep, and maintenance and security that can be provided by a contract service company. Families are looking for home with a reasonable back yard for their children to play in within a secure environment and a place with a sense of community. This Pulte project is designed to attract those segments of the market place.

**Staff Response:** The market for all types of housing development appears to be improving. The Las Soleras Master Plan specifically anticipated a variety housing types and densities. The Land Use Department is not aware of a fundamental shift or change away from medium or high density residential development to lower density.

## V. REZONING APPROVAL CRITERIA

Section 14-3.5(A) and (C) SFCC 2001 sets forth approval criteria for rezoning as follows. [The approval criteria are shown in *italic* font.]

*(1) The planning commission and the governing body shall review all rezoning proposals on the basis of the criteria provided in this section, and the reviewing entities must make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any rezoning:*

*(a) one or more of the following conditions exist:*

*(i) there was a mistake in the original zoning;*

**Applicant Response:** There was a mistake in the original zoning applied in 2009 as part of the Las Soleras Master Plan to the extent that the Master Plan did not correctly anticipate the market demand for lower density residential zoning. There has been several larger scale rezonings for apartment uses in the southern area of the City in recent years. There is currently another application for a 450 unit apartment rezoning on Agua Fria Street. The demand for apartment dwellings is being satisfied in other area of the City. The increase in the availability of land for apartments in Santa Fe has decreased the need for vacant higher density multi-family land.

Las Soleras has more than one tract of land set aside for Mixed Use development. Currently there is not much demand for mixed use development outside the close-in and near downtown area. Las Soleras mixed used development may be dependent on the approval and construction of a Rail Runner stop where it is currently shown on the Master Plan. If the Rail Runner station becomes an eventuality there is a near-by parcel on the south side of Beckner Road, Currently zoned Mixed Use (MU) that could accommodate the mixed use needs within Las Soleras.

The change in zoning from R-12 to R-6 was necessary to create lot lines consistent with the zoning boundaries. Lower density residential uses are permitted within the R-12 zoning district.

**Staff Response:** It is not evident that there was a mistake in the original zoning. In fact the current zoning of the site is the result of a Master Plan the specifically sought to provide for a range of densities and housing types to support a jobs-housing balance in the immediate area. While market conditions for housing types do change over time, there is not long term evidence that this has occurred within the Las Soleras Master Plan.

(ii) *there has been a change in the surrounding area, altering the character of the neighborhood to such an extent as to justify changing the zoning;*

**Applicant Response:** This condition does not exist since Nava Ade existed when the Las Soleras Master Plan was approved in 2009 and not much has changed along the boundary contiguous with this rezoning request.

**Staff Response:** No substantial development has occurred in surrounding area since the adoption of the Las Soleras Master Plan.

(iii) *a different use category is more advantageous to the community, as articulated in the general plan or other adopted city plans;*

**Applicant Response:** Ross' Peak, which is included within the Las Soleras Master Plan has proposed 200 single family homes in a more dense configuration than the Pulte project. Pulte is proposing 300 single family dwellings at a density consistent with the average density found in Nava Ada. Assuming an annual absorption rate of 70-100 dwelling per year there is a 6 to 7 year supply of land within Las Soleras. It is very difficult to anticipate the demands of the market place, especially during one of the more volatile times in the nation's economy. This rezoning is more advantageous to the community since it provides for the type of housing that is critical to growth of the community both from the standpoint of economic development resulting from retirees' beneficial impact on Santa Fe's economy and the working families that are need to fill the jobs which are the foundation of Santa Fe's economy.

**Staff Response:** While the lower density land use category would provide opportunity for the proposed low density single family development, it is not clearly articulated in the General Plan or other City Plans that this would be more advantageous to the community. In fact, the proposed low density land use is contrary to the higher density residential and greater mix of uses anticipated by the Las Soleras Master Plan. The following General Plan Policies articulate the importance of this mix of uses:

**Policy 5-1-G-1:** *Preserve the scale and character of established neighborhoods, while*

*promoting appropriate community infill and affordable housing.*

*Policy 5-1-G-2: Encourage new residential growth in the form of human-scale and vital neighborhoods that provide a mix of services and uses.*

*Policy 5-1-G-3 Increase the connectivity between neighborhoods and individual developments.*

- (b) *all the rezoning requirements of Chapter 14 have been met;*

**Applicant Response:** All rezoning requirements have been met including the scheduling of an ENN, satisfying public notice requirements and providing for the documents and reports mandated by the City to process the rezoning request through the local government committees.

**Staff Response:** All other procedural rezoning requirements of Chapter 14 have been met.

- (c) *the rezoning is consistent with the applicable policies of the general plan, including the future land use map;*

**Applicant Response:** In order to make the rezoning consistent with the General Plan and Future Land Use Map it is necessary to amend the General Plan. This requirement has been satisfied by the amendment to the General Plan and Future Land Use Map that preceded the rezoning of the property.

**Staff Response:** The proposed rezone is accompanied by a requested General Plan Future Land Use Map Amendment request to ensure consistency.

- (d) *the amount of land proposed for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city;*

**Applicant Response:** This application is located within Stage One of the City General Plan which in addition to the assumed availability of road and utility infrastructure is also the location where the City wishes to direct growth. Although there is no inventory of land prepared for specific types of uses it has been evident that lower density single family housing is the greatest consumer of urban land. While there is a considerable amount of vacant land zoned for lower density residential uses much of this land does not have access to adequate utility lines and roadways with the capacity to support the demands of the development. In the case of Pulte all utilities are adequate to serve the project with the infrastructure being constructed to satisfy the demands of the project consistent with the phasing of the development.

**Staff Response:** The land subject to the proposed rezone is within the Las Soleras Master Plan and is zoned at such densities so as to accommodate the anticipated growth. The proposed rezone would lower densities to accommodate a proposed single family residential development.

*(e) the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development.*

**Applicant Response:** Although not a part of this application, a Traffic Impact Assessment will be submitted with the subsequent request for subdivision of land within the existing R-12 zoning. The TIA will determine the impacts to traffic well outside the immediate boundaries of the Pulte development. City water and sewer mains lines are already located within the boundaries of this project. The dry utilities, natural gas, electric, telephone and cable TV will have to be brought to the project consistent with the extension of Beckner Road. Las Soleras has worked with the City Fire Department to provide a parcel of land for a substation at some point in the future. Parks will be provided both inside the Pulte project and within Las Soleras, including an extensive network of trails.

**Staff Response:** The subject property is located within the Las Soleras Master Plan. The Master Plan anticipated infrastructure needs including those related to roads, sewer and water lines, public facilities and parks. All infrastructures will be adequate for the proposed development. In fact, the applicant, as part of the Master Plan Amendment, has requested a reduction in the amount of active park space originally required by the Master Plan.

*(2) Unless the proposed change is consistent with applicable general plan policies, the planning commission and the governing body shall not recommend or approve and rezoning, the practical effect of which is to:*

*(a) allow uses or a change in character significantly different from or inconsistent with the prevailing use and character in the area;*

**Applicant Response:** The principle use that is closest to the project is Nava Ade. The average residential density for Nava Ade is 3.3 dwelling units per acre. The average density for the Pulte project is 2.9 dwelling per acre. This project, therefore, is entirely consistent with the prevailing use and character of the area.

**Staff Response:** The proposed rezone would allow development consistent with the adjacent Nava Ade subdivision to the north and would therefore maintain the character of the area. However, the rezone would allow a density that is different from the future character of the area as anticipated by the Las Soleras Master Plan.

(b) *Affect an area of less than two acres, unless adjusting boundaries between districts*

**Applicant Response:** This request affects more than 100 acres of land, which satisfies this requirement.

**Staff Response:** Not applicable.

(c) *Benefit one or a few landowners at the expense of the surrounding landowners or general public*

**Applicant Response:** The benefit accrues to the buyers of homes within the Pulte development that will have homes to live in that suit their particular needs. Pulte is benefitting financially from the project if it is successful and assumes all the risk if it is not successful. The impact to the surrounding landowners and how those impacts will be mitigated will be discussed in greater detail when the subdivision request is submitted to the City.

**Staff Response:** The proposed Rezone will not benefit a few landowners at the expense of surrounding landowners. However, the proposal may impact the general public as the lower density may impact the ability to have a viable mixed use development in the area as originally planned by the adoption of the Las Soleras Master Plan.

(D) Additional Applicant Submittals

(1) *If the impacts of the proposed development or rezoning cannot be accommodated by the existing infrastructure and public facilities, the city may require the developer to participate wholly or in part in the cost of construction of off-site facilities in conformance with any applicable city ordinances, regulations or policies;*

(2) *If the proposed rezoning creates a need for additional streets, sidewalks or curbs necessitated by and attributable to the new development, the city may require the developer to contribute a proportional fair share of the cost of the expansion in addition to impact fees that may be required pursuant to Section 14-8.14.*

**Staff Response:** The Las Soleras Master Plan identified infrastructure needs necessary to accommodate development within the subject area. All necessary off-site improvement and fair share contribution have been identified by the traffic impact analysis prepared for the project. All development would be subject to the contribution of necessary infrastructure.

## VI. SUBDIVISION APPROVAL CRITERIA

Subdivision approval criteria are shown below in *italic* font.

(1) *In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.*

**Applicant Response:** An archaeological report has been prepared for this section of Las Soleras. No sites of historical significance were found within Pulte Tracts. The property is vacant and the predominant vegetation on the subject tract is one-seed juniper and native grasses. The more significant drainage will be reshaped and used for shallow ponding and a City trail and enhanced through the use of landscape material.

**Staff Response:** The site is currently vacant but has been designated for residential development by the Las Soleras Master Plan. The Master Plan identified park and open space areas. The proposed subdivision would not interfere with existing water courses. Additionally, archaeological and historical clearance was obtained from the Santa Fe Archaeological Review Committee for the entire Las Soleras Master Plan area.

(2) *The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).*

**Applicant Response:** The public agency review consists of City departments, which have reviewed the application for a period of five months. Two ENN meetings have been held with the public and changes have been made over the five month period to satisfy both staff and public concerns. The property does not lie within the 100 year floodplain. The storm water management system has been designed to avoid the flooding that is currently occurring in the Nava Ade subdivision.

**Staff Response:** No land subject to flooding is proposed for habitable development. The location of the proposed development would not interfere with any flood plains or other uninhabitable land.

(3) *All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).*

**Applicant Response:** The proposed subdivision plat is in compliance of Chapter 14, Article 9. An innovative street design is proposed which provides for parking on both sides of the road. The innovative street design is made on conformance with the City Land Development Code.

**Staff Response:** All infrastructure design and improvements such as roads, landscaping, and trails must conform to the applicable minimum development standards. A condition of approval is recommended to require that all streets shall conform to City street standards identified in SFCC §14-9.2. Note that approval of an “innovative street design” requires a determination that adequate pedestrian, bicycle and transit facilities are provided. The innovative street design provision is not intended as a “shortcut” alternative to requesting approval of a variance to the dimensional standards.

(4) *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.*

**Applicant Response:** There is no non-conformity or increase in non-conformity to the provisions of Chapter 14 that occurs as a result of the approval of this subdivision.

**Staff Response:** The proposed subdivision will not create a non-conformity as it will comply with all applicable development standards.

(5) *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.*

**Applicant Response:** The application for this subdivision plat does not include any variance to Chapter 14 or any other provisions of the City Code. This application has been submitted in conformance with the regulations set forth in the Land Development Code.

**Staff Response:** The proposed subdivision will not create a non-conformity with any other chapter of the Santa Fe City Code.

## **VII. MASTER PLAN AMENDMENT APPROVAL CRITERIA**

Section 14-3.9(D) SFCC 2001 sets forth approval criteria for master plan amendments as follows. [The approval criteria are shown in *italic font*.]

- a) *The master plan is consistent with the general plan;*
- b) *The master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;*

- c) *Development of the master plan area will contribute to the coordinated and efficient development of the community; and*
- d) *The existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.*

**Staff Response:** The existing Las Soleras Master Plan is consistent with the zoning of the area and applicable General Plan policies related to new development. Consistent with General Plan policies the plan includes a mix of residential densities in close proximity to commercial zoning and planned employment centers and community services. Necessary infrastructure and road alignments were previously determined and approved as part of the master plan.

The proposed amendment will realign road and trails and reduce and realign park space to accommodate single family residential development. The proposal will eliminate approximately 30 acres of high density and mixed use zoned land within the master plan. The following General Plan policies speak to the importance of providing a mix of residential options in close proximity to commercial centers and employment options:

*Guiding Policy 3-G-2: There shall be a mix of uses and housing types in all parts of the City.*

*Implementing Policy 3-I-6: Require the inclusion of employment and neighborhood centers in future development/Planning Area.*

*Policy 5-1-G-1: Preserve the scale and character of established neighborhoods, while promoting appropriate community infill and affordable housing.*

*Policy 5-1-G-2: Encourage new residential growth in the form of human-scale and vital neighborhoods that provide a mix of services and uses.*

*Policy 5-1-G-3 Increase the connectivity between neighborhoods and individual developments.*

The master plan is currently consistent with the policies and development code requirements associated with road connectivity. Specifically, SFCC §14-9.2(D)(3) states that “*at least one through street that traverses the entire developed area shall be provided for each one thousand (1,000) feet of developed area.*”

The proposed master plan amendment reduces the connectivity of the current plan, with the elimination one north-south road. However, it would still comply with the development code. A greater inconsistency however is raised by the proposed gated development. In addition to being inconsistent with General Plan policy 5-1-G-5, which prohibits gated communities, future phases of the gated development will conflict with SFCC §14-9.2(D)(3), in that the gated development will prevent through streets from

traversing the development area at least every 1,000 feet. If the gated portion of the subdivision is approved, development of future phases may require a variance from this development standard.

#### **VIII. CONDITIONS OF APPROVAL**

Conditions of approval are proposed should the Planning Commission recommend approval to the City Council.

#### **IV. ATTACHMENTS:**

##### **EXHIBIT A:**

1. Proposed Pulte Development Conditions of Approval
2. Development Review Team Memoranda
  - a. Traffic Engineering Comments, John Romero and Sandy Kassens
  - b. Landscape Comments, Noah Berke
  - c. Wastewater Comments, Stan Holland
  - d. Water Comments, Dee Beingessner
  - e. MPO Trail Comments, Keith Wilson

**EXHIBIT B:** Las Soleras Master Plan Conditions of Approval Approved by City Council on February 11, 2009

**EXHIBIT C:** ENN Meeting Notes

**EXHIBIT D:** Las Soleras Master Plan Land Use and Zoning Map

##### **EXHIBIT E: Public Comments**

1. Public Comment Cards from ENN meeting
2. Public Comments submitted by Fax from Monte del Sol Charter School
3. Public Comments submitted by email
4. Public Comments submitted by Nava Ade Homeowners Association

##### **EXHIBIT F: Applicant Submittals**

1. Bound Report Packet submitted by the Applicant

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit A**

- **Proposed Pulte Development Conditions  
of Approval**
- **Development Review Team Memoranda**

**Pulte Development-Conditions of Approval**  
Planning Commission – May 21, 2015

Conditions	Department	Staff
The Traffic Engineer conducted a review of the preliminary subdivision plat. The attached memorandum dated May 5, 2015, notes Conditions of Approval to be completed prior to approval of the Final Subdivision Plat.  All streets shall conform to City street standards identified in SFCC §14-9.2.	Traffic Engineering	John Romero/ Sandra Kassens
If applicable entitlement request are approved by the City Council, the Wastewater Division Engineer shall conduct a review of all proposed wastewater infrastructure prior to approval of the final subdivision plat. The applicant shall comply with all conditions necessary to ensure adequate wastewater infrastructure.	Wastewater Division	Stan Holland
If applicable entitlement requests are approved by the City Council, the Water Division Engineer shall conduct a review of all proposed water service infrastructure prior to the approval of the final subdivision plat. The applicant shall comply with all conditions necessary to ensure adequate water infrastructure.	Water Division	Dee Beingssner
If applicable entitlement requests are approved by the City Council, the Fire Marshal shall conduct a review of all proposed development prior to approval of the final subdivision plat. The applicant shall comply with all conditions necessary for compliance with the International Fire Code (IFC) 2009 Edition.	Fire	Rey Gonzales
If applicable entitlement requests are approved by the City Council, the MPO and Roadway and Trails Division shall review the final design of the trails to ensure all applicable standards are met. The applicant shall comply with all conditions necessary for adequate trail development.	MPO / Roadway and Trails Division	Keith Wilson
The subdivision developer shall comply with all requirements of the Santa Fe Home Program.	Affordable Housing	Alexandra Ladd
If applicable entitlement request are approved by the City Council, the City Engineer for the Land Use Department conducted a review of the final subdivision plat. The applicant shall comply with all conditions necessary to ensure compliance with a development standards and Development Code requirements including those related to all landscaping requirements.	Technical Review	Risana "R.B." Zaxus
Water rights shall be transferred to the City no later than 60 days after the approval of the final subdivision plat for each phase or subphase of development. Building permits shall not be issued until adequate water rights are transferred to the City.	Land Use	Amanda Martinez
The necessary infrastructure for each phase of development shall be determined and constructed to the satisfaction of the appropriate City Department or utility.	All Departments	N/A

# City of Santa Fe, New Mexico

# memo

DATE: May 5, 2015

TO: Zach Thomas, Land Use Division

VIA: John J. Romero, Traffic Engineering Division Director *JR*

FROM: Sandra Kassens, Engineer Assistant *SK*

SUBJECT: **Pulte Las Soleras Preliminary Subdivision Plat, Case 2015-08.**  
**Pulte Las Soleras Electrical Transmission Relocation, Case 2015-09**

## ISSUE:

### Preliminary Subdivision Plat

James W. Siebert & Associates, agent for The Pulte Group, requests approval of Preliminary Subdivision Plat (77 Lots) for Phase I (Units 1 and 2) of development associated with the Pulte Master Plan Amendment, General Plan Amendment, and Rezoning. Unit 1 of the subdivision is identified as a "Traditional" development while Unit 2 is identified as an "Age Targeted" gated development. The proposed subdivision is 30.9 acres with an average density of 2.49 dwelling units per acre. The Preliminary Subdivision Plat also includes a variance request for disturbance of thirty percent and greater slopes and an alternative street section design.

### Electrical Transmission Line Relocation

James W. Siebert & Associates, agent for The Pulte Group, also requests approval to relocate an existing 115-kv electrical transmission line within the Las Soleras Master Plan as the part of the greater Pulte Group Master Plan Amendment, General Plan Amendment, Rezone and Subdivision request. The Proposed relocation will follow the future Beckner Road Alignment.

## RECOMMENDED ACTION:

Review comments are based on submittals received on January 28, 2015 through April 16, 2015. The comments below should be considered as Conditions of Approval to be addressed prior to final subsequent submittal unless otherwise noted:

- I. **Traffic Impact Analysis (TIA) Revisions Requested:** (Latest Revision received April 16, 2015).
  1. Page 10: Intersection 3-Governor Miles/ Dancing Ground
    - a) AM peak hour Build delays for NB & SB do not match the corresponding delays on the Capacity Analysis, sheet A-35.
    - b) PM peak hour Build delays for NM left and thru should both be 43.0 seconds as the geometry is a shared left/thru lane, sheet A-48b.
    - c) Show queue lengths for Governor Miles/ Dancing Ground
    - d) Northbound right turn lane should be the length of the longest queue, right turn lane or left-thru lane in order to prevent blocking of either lane by the queue.
  2. Page 13: Intersection 5- Beckner Road & Cerrillos Rd.

- a) Correct street names in the last sentence on this page.
  - 3. Page 22: Fair Share Contributions:
    - a) Update the amount of Pulte's Fair Share contribution in the last sentence after requested revisions to the Fair Share Contribution Report as noted below have been reviewed and accepted by the Public Works Department.
- II. **Fair Share Contributions Report:** (The report reviewed is the Fair Share Contribution Report for Ross' Peak and Pulte Subdivisions that was revised 4-29-15 and received by the Traffic Engineering Division on 4-30-15).

**A. Revisions requested:**

- 1. Re: Las Soleras Master plan Trip Generation Fair Share Worksheet: The Units column for Tracts 12 & 13, Ross' Peak and 14-16, Pulte Subdivision, do not match the plans for the proposed developments; Update all information in this table.
- 2. Re: Engineer's Opinion of Probable Cost sheets:
  - a) For each sheet, with the exception of sheet 12, provide a description of the item called "Signalization Upgrade" so that it is clear what upgrades are included for that intersection;
  - b) Provide unit costs for items in the Signalization Upgrade, for example; Remove and Relocate Signal Standard; changes to mast arms (length); changes to Signal heads; changes to pedestrian signals, Installation of new controllers, and/or cabinets and so on.
  - c) For sheet 12, Governor Miles/Dancing Ground Roundabout:
    - 1. Change the Asphalt thickness to 6"
    - 2. Include street lights – assume at least 8 street lights with LED luminaires on 28' standards and all appurtenances.

**B. Fair Share Amount:**

The Developer shall contribute the Fair Share amount to the City of Santa Fe as determined by the Final Traffic Impact Analysis (TIA) for the Pulte Subdivision that includes the Fair Share Contributions Report after these documents have been accepted as complete and approved by the City of Santa Fe Public Works Department. The Fair Share Contributions will go towards off-site improvements that were specified in the Las Soleras Master Plan TIA. The City of Santa Fe Public Works Department shall have final approval over the fair share amounts.

- C. The Pulte TIA identifies that the northbound movement on Dancing Ground Road at Governor Miles Road fails during the PM peak hour of the build year. The suggested mitigation per the TIA is to add a separate right-turn lane on the northbound approach of Dancing Ground onto Governor Miles Road. In our opinion, the added right turn lane would not provide sufficient long term improvement at this intersection, leading to further mitigation down the road. Therefore we suggest building a Roundabout at this intersection as described below in Plan "A":

Plan "A" - The Developer shall design and construct a roundabout at the intersection of Governor Miles and Dancing Ground in lieu of their Fair Share Contributions for Pulte Subdivision; provided that additional ROW as required by the design can be acquired. The areas in question are currently designated as Open Space by the Las Soleras Master Plan and would require agreement by the Nave Ade Homeowners Association for the re-designation of the required portions of Open Space and dedication of these portions as Public ROW. The portions of Open Space that would need to be re-dedicated as Public ROW should encompass the smallest possible areas that will accommodate the roundabout design. Design shall be reviewed and approved by the Public Works Department. If at the time of construction Ross' Peak subdivision has been finalized, the

Fair share amount from Ross' Peak will also be available for use by Pulte in constructing the Roundabout. If the cost of constructing this Roundabout exceeds the Fair Share amount(s), the Developer(s) may receive Impact Fee Credits.

Plan "B": In the case that Nave Ade Homeowners Association does not agree to sign-off on changing a portion of the open space to ROW; the fair share Contributions from Pulte will be placed in escrow for the future installation of a traffic signal at the intersection of Governor Miles Rd. and Dancing Ground Rd. The traffic signal will be constructed only after signal warrants have been met per the American Association of State Highway and Transportation Officials (AASHTO) criteria based on actual traffic counts taken at that time.

**III. Governor Miles Rd. and Dancing Ground Rd. intersection improvements:**

1. *Per Plan "A" above:* The Developer shall provide a design for a Roundabout at the intersection of Governor Miles Road and Dancing Ground Road prior to subsequent submittal. The design shall conform to the new guidelines from the National Cooperative Highway Research Program (NCHRP) report 672, Roundabouts: An Informational Guide, Second Edition, published by the Transportation Research Board (TRB), Washington D.C., 2010. The design shall be approved by the Public Works Department. Show the additional ROW required by the Design on the plat and the design drawing.
2. *Per Plan "B" above:* The Developer shall provide a design for a signalized intersection at Governor Miles and Dancing Ground if and at such time that the Public Works Department determines that Plan A is infeasible due to an inability to acquire the necessary ROW.

**IV. VISSUM Analysis of Realignment of Dancing Ground Road:**

1. The City of Santa Fe requested that the Developer run a VISSUM model to compare the differences in traffic between the original Master Plan alignment of Dancing Ground Rd. that intersected Rail Runner Rd. and the re-aligned Dancing Ground/Walking Rain Rd. that connects to Beckner Rd. The purpose of the model is to determine how the re-alignment affects that portion of Dancing Ground Road just south of Governor Miles Road. The Pulte VISSUM report was received by John Romero via email on April 7, 2015.
2. The Traffic Engineering Division concurs with the Summary Report that states "Generally speaking, the VISSUM analysis supports the idea that implementation of the new Pulte roadway layout with Dancing Ground connecting to Walking Rain rather than to Rail Runner Rd. results in an increase of 5% to 15% (20 to 50 directional vehicles per hour) traffic volumes on Dancing Ground Rd. south of Governor Miles." Although the new alignment shows an increase in traffic over the original alignment of Dancing Ground Road, the segment of Dancing Ground just south of Governor Miles Road should continue to operate satisfactorily.

**V. Radii of Curves on newly aligned Walking Rain and Dancing Ground roads:**

1. The Developer shall ensure that the radii of the curves on the re-aligned Walking Rain Rd. and Dancing Ground Road have minimum radii of 198 ft. per the current edition of AASHTO's A Policy on Geometric Design of Highways and Streets for a design speed of 25 mph. If the curves do not meet this requirement, the Developer shall alter the design to bring these curves up to the minimum radii.

If you have any questions or need any more information, such as City of Santa Fe specifications, feel free to contact me at 955-6697.

# City of Santa Fe, New Mexico

# memo

**DATE:** February 23, 2015  
**TO:** Zach Thomas, Land Use Planner Senior  
**FROM:** Noah Berke, CFM, Land Use Planner Senior  
**SUBJECT:** Comments for Case #2015-08, Pulte Las Soleras Preliminary Subdivision Plat

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Below are comments for the Pulte Homes Preliminary Subdivision Plat request. These comments are based on documentation and plans that was provided to Development Review Team members and dated January, 2015:

- Provide Landscape Plan as per Article 14-8.4 "Landscape and Site Design"
- Provide detail showing how proposed project is in compliance with Article 14-8.4 (G) "Street Tree Standards". Provide street trees in 5 foot wide planter strip along roads and provide 5 foot wide sidewalk after planter strip.
- Provide analysis of how many trees and shrubs are required and how many are actually provided.
- Show compliance with Article 14-8.4 (F)(2)(e). Provide details on compliance with this Article.
- Provide open space calculations and show compliance.
- Provide landscaping plan with traffic signs shown. This will help to ensure that street placement is not blocking traffic signage.
- Provide street tree typical.
- Provide planting typical.



# MEMO

## Wastewater Management Division DEVELOPMENT REVIEW COMMENTS

### E-MAIL DELIVERY

Date: January 9, 2015

To: Zach Thomas, Case Manager

From: Stan Holland, P.E.  
Wastewater Management Division

Subject: Case 2014-119 Ross' Peak Final Subdivision Plat

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**The subject property is accessible to the City public sewer system.**

**The Applicant shall address the following comments on the plats:**

1. The Lot Line Adjustment plat shows the vacation of a 10 foot effluent easement within Tract 12B. It appears the continuity of the effluent easement will be affected by this change and therefore the vacation of the easement shall not be approved.
2. The easements in the southwest corner and along the west boundary of the development within Tract 12B appear to be incorrect. More detail is needed in this area to identify the various easements including the effluent easement.
3. The sewer easement from Vista Chula going west appears to be missing.

**The following comments shall be addressed:**

1. Identify the driving surface type in the 25 foot easement from Pico Rico to Rail Runner Road.
2. There are slopes less than the minimum 0.6% allowed and even one sewer line identified as a 0% slope.
3. Show all structures, especially cross structures, with clearances in the sewer P&P sheets
4. Identify the sewer line as Public in all sewer P&P sheets
5. Identify the radius used on curvilinear sewer
6. The difference in the change of slopes between the segments of the sewer lines needs to be reduced.
7. A master sewer utility plan sheet indicating the vicinity of the corresponding sewer sheets is required.
8. The depth of the sewer line segments greater than 10 feet may require additional easement width when the sewer line has additional water and/or storm drain lines in the same easement.


9. Access to all manholes and sewer lines shall be maintained. A 12 foot wide, 6 inch thick base coarse road shall be provided over all sewer lines and manholes outside of paved roads. The west side off-site 25 foot sewer/water easement needs an access road
10. Show the sewer connection to the existing sewer manhole going from MH 31 in the P&P sheet. Add note that core drilling is required. The existing manhole may require additional work to accommodate a new connection due to internal corrosion protection that may be damaged by the installation of the new sewer line.

*City of Santa Fe*

# memo

**DATE:** February 9, 2015

**TO:** Zach Thomas, Land Use Senior Planner, Land Use Department

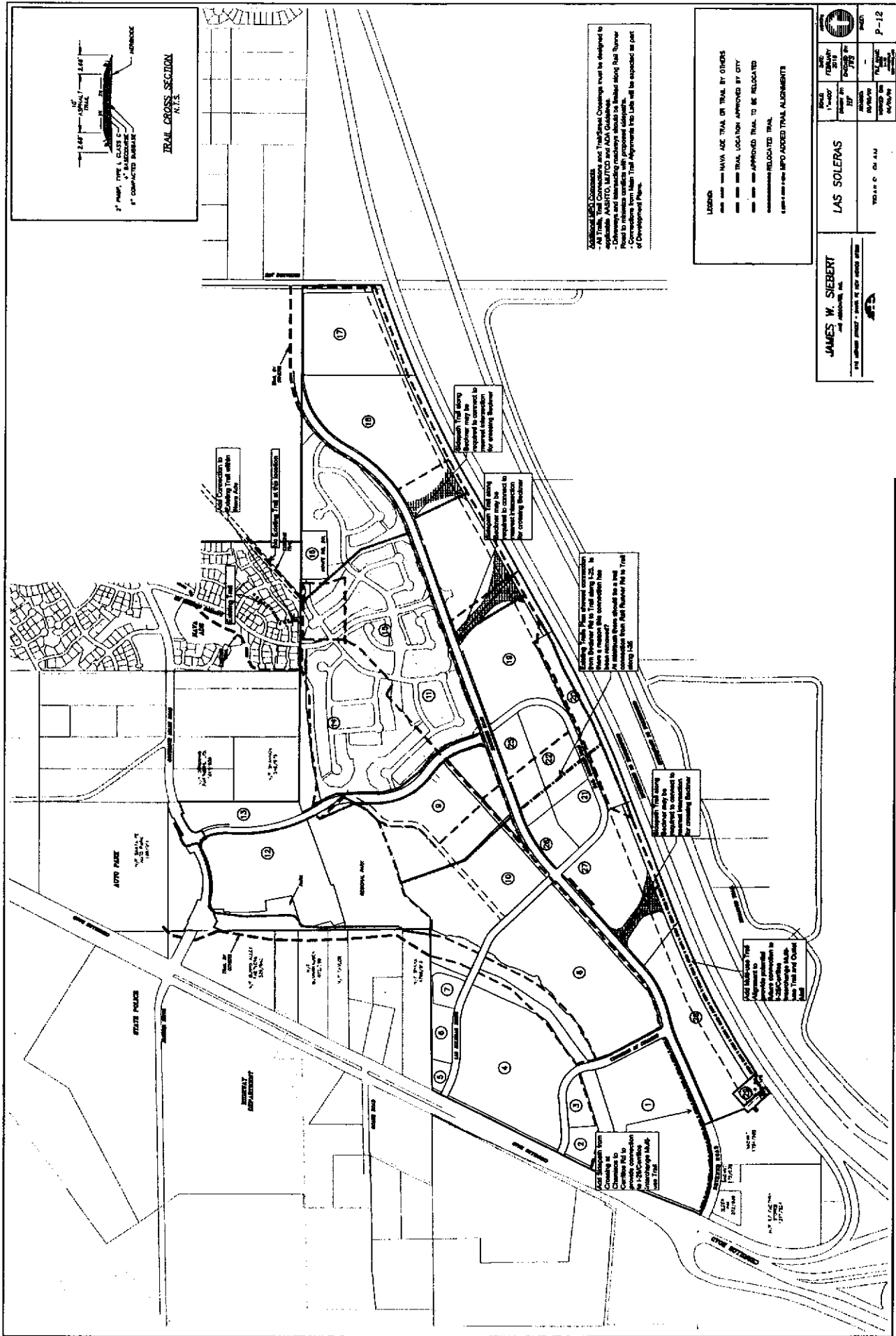
**FROM:** Dee Beingessner, Water Division Engineer 

**SUBJECT:** Case # 2015-08-09 Pulte Las Soleras

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The proposed water plan shows acceptable water line locations but line sizing must be reviewed to ensure the new water plan is equivalent to the Las Soleras Master Plan and the sizing adequately provides for the City's water needs during the construction of the water lines. The water plan for this development must be approved by the water division prior to issuance of an Agreement to Construct and Dedicate for the water main extension.

Fire service requirements will have to be determined by the Fire Department prior to development.



MPO comments per Keith Wilson,  
May 12, 2015.

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit B**

**Las Soleras Master Plan Conditions of  
Approval Approved by City Council on  
February 11, 2009**

# Las Soleras – Revised Conditions of Approval

General Plan Amendment (Case #M 2008-27)

Annexation (Case #M 2008-28)

Lot Line Adjustment, Road Dedication, and Right-of-Way Vacation Plat (Case #SD 2008-15)

Rezoning (Case #ZA 2008-11)

**COMPLETED**

	Condition	Department	Staff	Timing
9	Include the amended Master Trails Plans (Sheets P-12) as part of the City's Annexation Agreement	Trail Development	Bob Siqueiros	See Annexation Agreement p. ____ - Exhibit ____
15	An archaeological reconnaissance report must be completed by a City approved archaeologist and then approved by the City of Santa Fe Archaeological Review Committee (ARC) in order for the applicant to receive an archaeological clearance document.	Historic Preservation	Marissa Barrett	Complete ~ 2/5/09 ARC Approval
16	The 40-acre Presbyterian Hospital tract near the west end of the master plan should be approved as "Institutional" amending the City's current Future Land Use Map, rather than the applicant's request that it be designated "Community Commercial". A note shall be added to the Future Land Use Map Amendment confirming expressly that the Las Soleras HZ zoning district conforms to the Institutional land use designation.	Long Range Planning	Reed Liming	See Revised Annexation Master Plan and Future Land Use map, dated ____
17	The land use designations and zoning districts for the southeasterly portion of Las Soleras, south of Beckner Avenue, shall be modified as follows:  Easterly 20 ac. (including open space) - Community Commercial/SC-2  Adjoining 48.99 ac. to west (including open space) – Business Park/C-2 development standards but allowing only BIP land uses  Adjoining 37.49 acres to west (including open space) – Mixed Use/MU.	Long Range Planning – Current Planning	Reed Liming – Tamara Baer	See Revised Annexation Master Plan and Future Land Use map dated ____ and revised ____ Zoning map dated ____
18	The Las Soleras General Plan will show a public school site shown as "institutional" on the Future Land Use Map of a size equal to the set aside agreed on between the applicant and the Santa Fe Public School District.	Long Range Planning	Reed Liming	See Annexation Master Plan and Revised Future Land Use map, dated ____
21	Include all required elements on the Annexation and Dedication Plats as per the Annexation	Current Planning	Lucas Cruse	See Revised

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	Submittal packet (existing easements, floodplain, tract boundaries with references to legal lots of record and property owner signatures, existing and proposed city limits, roadway dedication details, etc.)			Annexation Plat dated _____
22	<p>It appears that a portion of the 1% chance event floodplain of the Arroyo Chamiso is not dedicated as Open Space or otherwise restricted from development.</p> <ul style="list-style-type: none"> <li>• Upon administrative approval by the City Staff of all improvements constructed in the floodplain, this land should be dedicated as public open space, drainage easement, and public right of way as per 14-8.2 (J): Terrain and Stormwater Management or otherwise restricted from development as per 14-5.9 Ecological Resource Protection Overlay District</li> <li>• Identify FEMA floodplain determinations and CLOMR that modify the area that is required to be protected</li> <li>• Identify options to protect and integrate into site plan open space the Arroyo de Los Chamisos tributaries that fall outside the FEMA floodplain.</li> </ul>	Current Planning	Lucas Cruse	See Revised Annexation Plat dated _____ And DP for tributaries
23	Minimum dedication of 98 feet of ROW for Beckner Road as per 14-9.2, except for the “innovative street designs” approved by the Planning Commission at their meeting of 12/18/08, as per Chapter 14-9.2 (E) (2) (a).	Current Planning	Lucas Cruse	See Revised Dedication Plat dated _____
24	<p>Sidewalks are required within the public ROW along both sides of all arterial roadways as per 14-9.2. The only exception to sidewalks being located within dedicated public roadway ROW is where “innovation” provides:</p> <ul style="list-style-type: none"> <li>• Open Space dedicated adjacent to the roadway allows greater separation between the roadway and path by maintained landscape area,</li> <li>• Curb cuts allowing motorized traffic to cross trails that runs parallel with Beckner Road shall be limited,</li> <li>• And, a public access easement is provided for the trail through the private open space.</li> </ul>	Current Planning	Lucas Cruse	See Revised Dedication Plat dated _____ DP (Development Plan, including any road construction plan for curb cuts)
26	<p>Clarify what is intended where trails are shown adjacent to roadways, but no open space is dedicated:</p> <ul style="list-style-type: none"> <li>• It is recommended that these sections of roadway be designed to 14-9.2 standards where additional open space is not being dedicated.</li> <li>• It is also recommended that the Trail Plan be modified to indicate <b>only</b> trail alignments that are independent of where sidewalks are already required along roadways as per 14-9.2 and open space is designated (i.e. power line alignment, Arroyo de Los Chamisos, I-25 setback, Nava Ade connections).</li> </ul>	Current Planning	Lucas Cruse	See revised Annexation Master Plan dated _____ and Trails Master Plan

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		Current Planning	Lucas Cruse	See Revised Annexation Master Plan and Future Land Use Map dated _____ and Road Dedication Plat
29	To improve arterial road intersection function, increase the spacing between the Las Soleras Drive and Rail Runner Road intersections with Beckner Road by shifting the alignment of Las Soleras Drive west, between the hospital and office tracts			
30	Access management is required to maintain the function of the Arterial roadways network. Since development in Las Soleras will happen piecemeal, it is recommended that a more fully-developed arterial and collector roadway network be developed in coordination with City staff as guidance for future development applications. Some eventual connections of note that should be considered now include: <ul style="list-style-type: none"> <li>Dancing Ground west to Las Soleras Drive (this also increases access and visibility to the park adjacent to the north. See Condition 36 below.)</li> <li>Connection from east end of Dragon Road down and across Beckner Road into the Mixed Use parcel</li> <li>Connection from the Station/Neighborhood Center eastward through the Mixed use parcel to the Dragon Road extension identified above</li> </ul>	Current Planning	Lucas Cruse	See Revised Annexation Master Plan and Future Land Use Map dated _____. Also see DP (Development Plan, including any road construction plan)
31	"Figure 5: Preliminary Circulation Map" of the Santa Fe County's Community College District Plan shows an over/underpass connecting Dinosaur Trail across I-25 to Beckner Road in the vicinity of Railrunner Road. Resolve with Santa Fe County whether this roadway connection will be integrated into the Las Soleras roadway network or the applicant shall coordinate with Santa Fe County to revise its plan to remove this connection.	Current Planning	Lucas Cruse	See Memo from Santa Fe County dated ____
33	A continuous trails network appears to connect the open space and parks parcels with the exception of parcel #20 from the proposed Railrunner Stop and Transit Station through parcel #19, connecting Beckner Road and continuing through parcel #12, connecting with the 21.40 acre Park/Open space parcel. We recommend further connectivity within and through these parcels. (Note: this connects "La Rambla" up to the regional park.)	Parks-Open Space-Watershed Division	Fabian Chavez III – Lucas Cruse	See Revised Trails Plan dated ____
36	The 21.40 acre Park/Open space parcel will require a secondary arterial along the south boundary connecting Railrunner and Las Soleras Drive, possibly achieved by extending Dancing Ground Road, or the 10-foot wide trail along the southerly park boundary shall be designed to accommodate maintenance and light emergency vehicles (such as ambulances). This will provide at least 50% arterial connectivity for this parcel.	Parks-Open Space-Watershed Division – Current Planning	Fabian Chavez III	DP and Revised Annexation Master Plan and Future Land Use

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					Map
37	Prior to hearing by the City Council, submit detailed phasing for each tract of land and utility in addition to how that phasing relates to the submitted roadway construction phasing plan.	Current Planning	Greg Smith		Complete per 2/11/09 Council approval
38	Add note on P-7 “Where the development standards on this sheet conflict with provisions of Chapter 14 SFCC 1987 in effect at the time of approval of any development plan, the Code provision shall apply. Variances to these development standards shall be processed in the same manner as provided for similar variances to provisions of Chapter 14.”	Current Planning	Greg Smith		See Revised Sheet P-7 dated _____
39	No development plan or subdivision plat shall be approved by the Planning Commission unless the commission finds that there exists a comprehensive and equitable mechanism for implementing the dedication of easements and right-of-way necessary for infrastructure serving any and all phases and sub-phases of the Las Soleras Annexation Master Plan which will be affected by the approved development plan or plat, and for financing and coordinating the construction of that infrastructure. This note shall be placed on the Master Plan and included in the annexation agreement.	Current Planning	Greg Smith		Complete -- See Annexation Master Plan dated _____ and _____ Annexation Agreement section _____
40	No development plan or subdivision plat shall be approved by the Planning Commission unless the commission finds that there exist adequate provisions for coordinating dedication, financing and constructing infrastructure necessary for the orderly development of lands adjoining the Las Soleras Master Plan boundaries, including but not limited to “stubbing out” trails, roads and utility easements, and/or provisions for pro-rata contributions to off-site improvements that may be impacted by the approved development plan or plat. This note shall be placed on the Master Plan and included in the annexation agreement.	Current Planning	Greg Smith		See Revised Annexation Master Plan dated _____ and _____ Annexation Agreement section _____
41	Approval of the Annexation Agreement is subject to the review and approval of the City Attorney.	City Attorney	Kelley Brennan		See Final Annexation Agreement dated _____
43	The applicant shall submit a revised future land use map for administrative review and approval to ensure compliance with all approved changes, including approved road networks and any future school site.	Current Planning	Tamara Baer		See Revised Annexation Master Plan and Future Land Use Map dated _____
44	The City Traffic Engineer shall complete his review of the traffic impact analysis and include any	Current Planning	Tamara Baer		See Memo from

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	additional recommended conditions in the City Council staff report.			John Romero dated _____, attached hereto as Exhibit A
45	The applicant shall, in consultation with Santa Fe Public Schools and City staff, locate an additional 20 acres for active park space. This condition shall be incorporated into the Annexation Agreement. The Planning Commission shall approve the park location prior to the approval of a development plan for any Phase of the Project and shall verify compliance with applicable access standards to the parks and open space.	City Council / Parks Department	Fabian Chavez	Annexation Agreement, P. __, Prior to approval of first DP
48	A written commitment from the new state administration to the same extent as that issued by the present administration to locate a state office complex or a similar commitment for a commercial development with similar impacts shall be submitted prior to construction of the rail stop.	City Council / Current Planning	Tamara Baer	Complete, See letter from Governor Richardson dated 11/14/08

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**TO BE SUBMITTED IN CONJUNCTION WITH FIRST DEVELOPMENT PLAN(S)**

	<b>Condition</b>	<b>Department</b>	<b>Staff</b>	<b>Timing</b>
19	<p>The annexation master plan includes a portion of the land directly adjacent to the I-25 right of way that is labeled highway corridor (the "Highway Corridor"). Prior to or in conjunction with the first development plan application adjacent to the Highway Corridor, a comprehensive Highway Corridor Plan shall be submitted to the Planning Commission for review and approval. The Highway Corridor Plan shall identify locations of bundled open space, view corridors, a visual impact analysis of the Las Soleras I-25 corridor, architectural design features, locations of berms (existing and proposed), and landscape and lighting standards to be implemented by the Plan. The depth of the Highway Corridor may vary to a minimum of 100 feet provided that the overall area encompassed within the Highway Corridor, outside of the BIP (or Transit Oriented Development) zone, shall be maintained. As part of the Highway Corridor Plan, the Trails Plan shall be revised to identify trail connections between the trail running east-west along I-25 and Beckner Road, making use of the bundled open spaces to create a continuous trail system.</p> <p>All applications for development plans adjacent to the Highway Corridor shall include visual impact analyses of views from I-25 both northbound and southbound using story poles and/or computer aided visual simulation to address all proposed improvements located within 265 feet of the I-25 right-of-way.</p> <p>The developer shall designate and provide a pedestrian or bike trail within the Highway Corridor from the planned Rail Runner station up to Richards Avenue and down to Beckner Road where it comes closest to the Highway Corridor.</p>	Long Range Planning	Reed Liming	<p>Highway Corridor Plan – Prior to approval of first DP</p> <p>Visual Impact Analysis - DP (Development Plan, including any trail construction plan)</p>
45	<p>The applicant shall, in consultation with Santa Fe Public Schools and City staff, locate an additional 20 acres for active park space. This condition shall be incorporated into the Annexation Agreement. The Planning Commission shall approve the park location prior to the approval of a development plan for any Phase of the Project and shall verify compliance with applicable access standards to the parks and open space.</p>	City Council / Parks Department	Fabian Chavez	Annexation Agreement, P. ____ Prior to approval of first DP

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## TO BE SUBMITTED AT DEVELOPMENT PLAN (OR PERMIT) FOR APPLICABLE PARCEL(S)

*Note: some conditions are duplicated from above as they had components that have been completed but also have components to be completed at Development Plan.*

	Condition	Department	Staff	Timing
1	Applicant must comply with Chapter XXI of SFCC 1987	Solid Waste	Randall Marco	DP (Development Plan, including any road construction plan)
2	Recommend the following solid waste measures: <ul style="list-style-type: none"> <li>Commercial properties: use 30 yard self-contained compactors or create a specific solid waste plan</li> <li>Residential properties: create a specific solid waste plan</li> </ul>	Solid Waste	Randall Marco	DP (Development Plan, including any road construction plan)
3	Identify provisions for recycling	Solid Waste	Randall Marco	DP
4	Proposed infrastructure shall be sufficient to accommodate the fire flow requirements set forth in IFC § B105.	Fire	Barbara Salas	DP
5	Fire Hydrants shall be located to a location acceptable to the Fire Code Official. Contact Fire Department for clarification and approval of fire hydrant locations.	Fire	Barbara Salas	DP
6	Development Plan General notes shall indicate the following provisions: <ul style="list-style-type: none"> <li>Fire Department Access shall be maintained throughout all development construction phases § 1410.1.</li> <li>An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. IFC §1412.1.</li> </ul>	Fire	Barbara Salas	DP
7	Provide a standard city trail signage plan.	Trail Development	Bob Siqueiros	DP (Development Plan, including any road or trail construction plan)
8	Comply with ADA standards.	Trail Development	Bob Siqueiros	DP

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	Primary and Secondary Trail Sections shall comply with the AASHTO Design Standards (American Association of State Highway and Transportation Officials-for the Development of Bicycle Facilities).	Trail Development	Bob Siqueiros	DP (Development Plan, including any trail construction plan)
10				
11	All development must comply with the Terrain/Stormwater Management and Flood Regulation requirements of Articles 14-8.2 and 14-8.3 of the Land Development Code.	Land Use	Risana Zaxus	DP (Development Plan, including any road construction plan)
12	Public sanitary sewer crossings of the Arroyo Chamiso (AC) shall be kept to an absolute minimum. The existing AC sanitary trunk sewer line is located on the east and south of AC. Properties to the north and west of the AC shall minimize the number of public sewer line crossings of the AC.	Wastewater Management	Stan Holland	DP (Development Plan, including any road construction plan)
13	There shall be no sewer lift stations in the "Las Soleras" area.	Wastewater Management	Stan Holland	DP
14	Final sewer design approval of all development plans in "Las Soleras" shall require Wastewater Division approval.	Wastewater Management	Stan Holland	DP
19	<p>The annexation master plan includes a portion of the land directly adjacent to the I-25 right of way that is labeled highway corridor (the "Highway Corridor"). Prior to or in conjunction with the first development plan application adjacent to the Highway Corridor, a comprehensive Highway Corridor Plan shall be submitted to the Planning Commission for review and approval. The Highway Corridor Plan shall identify locations of bundled open space, view corridors, a visual impact analysis of the Las Soleras I-25 corridor, architectural design features, locations of berms (existing and proposed), and landscape and lighting standards to be implemented by the Plan. The depth of the Highway Corridor may vary to a minimum of 100 feet provided that the overall area encompassed within the Highway Corridor, outside of the BIP (or Transit Oriented Development) zone, shall be maintained. As part of the Highway Corridor Plan, the Trails Plan shall be revised to identify trail connections between the trail running east-west along I-25 and Beckner Road, making use of the bundled open spaces to create a continuous trail system.</p> <p>All applications for development plans adjacent to the Highway Corridor shall include visual impact analyses of views from I-25 both northbound and southbound using story poles and/or computer aided visual simulation to address all proposed improvements located within 265 feet of the I-25 right-of-way.</p> <p>The developer shall designate and provide a pedestrian or bike trail within the Highway Corridor from the planned Rail Runner station up to Richards Avenue and down to Beckner Road where it comes closest to the Highway Corridor.</p>	Long Range Planning	Reed Liming	<p>Highway Corridor Plan – Prior to approval of first DP</p> <p>Visual Impact Analysis - DP (Development Plan, including any trail construction plan)</p>

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20	The application for any development plans adjacent to the planned train stop shall include a parking study addressing proposed amount, location and rationale for public parking.	Long Range Planning	Reed Liming	DP
25	At the time of development for individual tracts, all trails through privately held open space shall be dedicated as public access easements to ensure permanent public access to the Las Soleras non-motorized transportation network	Current Planning	Lucas Cruse	DP (Development Plan, including any trail construction plan)
27	<p>As part of an expanded non-motorized transportation plan and for all applicable development plans and road construction plans, identify proposed accommodations for the priority non-motorized crossings of arterial roadways in Las Soleras. The priority connections needed include:</p> <ul style="list-style-type: none"> <li>Identify needed upgrades to the Cerrillos Road culvert underpass and/or buried trail underpass required to accommodate non-motorized traffic</li> <li>If not precluded by construction that is in progress, reinstate the pedestrian underpass of Beckner Road between the hospital tract and the office tract to the south utilizing the natural topography as indicated in the original submittal</li> <li>Connect the north end of "La Rambla" as a central component of the proposed TOD strategy across Beckner Road to the residential tracts and the park between Tracts 10 and 11</li> <li>Design the bridges of Crossing at Chamiso and Las Soleras Drive across the Arroyo de Los Chamisos to accommodate the trails underneath</li> <li>Design the Railrunner Road crossing of the natural drainage to the north of Dancing Ground Road to connect park and open space with a pedestrian underpass as indicated in the original submittal</li> <li>Identify other opportunities to develop grade separated or otherwise prioritized non-motorized crossings of Beckner Road between Railrunner Road and Richards Avenue</li> </ul>	Current Planning	Lucas Cruse	DP (Development Plan, including any road and trail construction plan)
28	<p>In support of the stated Transit Oriented Development (TOD) goals of Las Soleras, as part of development plans and road construction plans, as applicable, identify the locations of priority bus stops in coordination with Santa Fe Trails for the route shown on Sheet P-18: Traffic Circulation Plan to facilitate:</p> <ul style="list-style-type: none"> <li>ROW dedications for bus loading bays or lanes</li> <li>Connections to non-motorized circulation facilities</li> <li>Building and tract development orientations to the transit stops</li> </ul>	Current Planning	Lucas Cruse	DP (Development Plan, including any road construction plan)
30	<p>Access management is required to maintain the function of the Arterial roadways network. Since development in Las Soleras will happen piecemeal, it is recommended that a more fully-developed arterial and collector roadway network be developed in coordination with City staff as guidance for future development applications. Some eventual connections of note that should be considered now include:</p> <ul style="list-style-type: none"> <li>Dancing Ground west to Las Soleras Drive (this also increases access and visibility to the</li> </ul>	Current Planning	Lucas Cruse	See Revised Annexation Master Plan and Future Land Use Map dated ____ DP (Development

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	park adjacent to the north. See Condition 36 below.)			Plan, including any road construction plan)
	<ul style="list-style-type: none"> <li>Connection from east end of Dragon Road down and across Beckner Road into the Mixed Use parcel</li> <li>Connection from the Station/Neighborhood Center eastward through the Mixed use parcel to the Dragon Road extension identified above</li> </ul>			
32	In development of access to a potential Rail Runner platform in the median of Interstate 25, design the Las Soleras access to facilitate future integration of a non-motorized access to the station from the south side of Interstate 25 and connections to the County's Community College District non-motorized trail network.	Current Planning	Lucas Cruse	Building permit for train station
34	The trails system appears to provide opportunities for quality trail amenities such as gardening plots, small pocket parks and rest/vista stops throughout the proposed amendment. We recommend refined design development assurances that these amenities, where feasible, will be constructed.	Parks-Open Space-Watershed Division	Fabian Chavez III	DP (Development Plan, including any trail construction plan)
35	After extensive conversation and document review with the Landscape Architect and representatives from Las Soleras, the 21.40 acre Park Open Space parcel appears to be of adequate size for a large regional/community park. Specific required park features were discussed and the Landscape Architect agreed that in fact these amenities could be incorporated within the park parcel. We recommend assurances that these amenities will be designed and constructed.	Parks-Open Space-Watershed Division	Fabian Chavez III	DP
36	The 21.40 acre Park/Open space parcel will require a secondary arterial along the south boundary connecting Railrunner and Las Soleras Drive, possibly achieved by extending Dancing Ground Road, or the 10-foot wide trail along the southerly park boundary shall be designed to accommodate maintenance and light emergency vehicles (such as ambulances). This will provide at least 50% arterial connectivity for this parcel.	Parks-Open Space-Watershed Division – Current Planning	Fabian Chavez III	DP and Revised Annexation Master Plan and Future Land Use Map
42	The applicant shall work with the Wastewater Management Division to design, locate and grant a minimum 10-foot wide public easement adjacent to the existing Arroyo Chamiso Sewer Trunk line easement to accommodate installation of an effluent line. The applicant shall reimburse the City for its fair and reasonable pro-rata share for its portion of the effluent line.	City Council/Wastewater Division	Stan Holland	DP
46	A street designed to City standards, or a rural profile road with a safe drivable surface shall be constructed to provide vehicular access between Monte del Sol School and Beckner Road in conjunction with construction of the adjacent section of Beckner Road.	City Council / Public Works	Robert Romero	DP (Development Plan, including any road construction plan that involves the applicable section of Beckner Road)
46A	The developer shall be responsible for funding and construction of all onsite roadway improvements as determined by he approved TIA or subsequent revisions to or addendums of the approved TIA as approved by the City of Santa Fe Public Works Department. Beckner Road shall	Public Works		

**Las Soleras – Revise’ Conditions of Approval**  
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	be constructed as a four lane major arterial consistent with Chapter 14 of City Code unless otherwise approved by the City of Santa Fe Public Works Department.			
46B	Any proposed improvements on New Mexico Department of Transportation (NMDOT) Highway Systems shall receive ultimate approval from the NMDOT. Any proposed improvements on Federal Highway Systems shall receive ultimate approval from the Federal Highway Administration with review from the NMDOT.	Public Works		
46C	As development occurs, the developer shall provide fair share contributions for all needed improvements, identified in the approved Traffic Impact Analysis or subsequent revisions to or addendums of the approved TIA as approved by the City of Santa Fe Public Works Department, on Cerrillos Road, Governor Miles Road, and Richards Avenue. Fair share contributions relating to intersection improvements shall be based on percent of side street traffic during the horizon year with the three exceptions:	Public Works		
i.	Fair share contributions for the Rodeo Road/Cerrillos Road intersection shall be based on the traffic volume of the specific movements needing mitigation during the horizon year.	Public Works		
ii.	As determined by the approval of the Entrada Contenta Development, the Las Soleras Master Plan Development shall be responsible for funding all needed improvements at the Cerrillos Road/Las Soleras Drive intersection while the Entrada Contenta Development will be responsible for funding all needed improvements at the Cerrillos Road/Crossing at Chamiso intersection	Public Works		
iii.	Fair share contributions for Cerrillos Road and Richards Avenue roadway widening improvements shall be based on percent of thru traffic during the horizon year. Improvements to Richards Avenue shall include reconstructing it as a four-lane arterial per chapter 14 of City Code.	Public Works		
iv.	Horizon year traffic volumes are those identified in the most current Santa Fe Metropolitan Transportation Organization (SFMO) travel demand forecast model based on the current SFMPO Future Transportation Network.	Public Works		
v.	If a certain phase of development a certain improvement is needed, the developer shall be responsible for constructing said improvement with the amount of contributions available at that time. Las Soleras to be reimbursed by developers sharing in improvement cost if Las Soleras is the first to construct shared improvements. Las Soleras may also receive financial offsets against traffic impact fees for road improvements identified on the City Capital Improvements Program	Public Works		
46D	Access spacing along Beckner Road shall follow the New Mexico Department of Transportation (NMDOT) State Access Management Manual (SAMM) requirements for an Urban Minor Arterial unless otherwise approved by the City of Santa Fe Public Works Department.	Public Works		
46E	Access spacing along Chamiso Crossing, Las Soleras Drive and Rail Runner Road, north of Beckner Road shall follow the NMDOT SAMM requirements for an Urban Collector unless otherwise approved by the City of Santa Fe	Public Works		

# Las Soleras – Revised Conditions of Approval

General Plan Amendment (Case #M 2008-27)

Annexation (Case #M 2008-28)

Lot Line Adjustment, Road Dedication, and Right-of-Way Vacation Plat (Case #SD 2008-15)

Rezoning (Case #ZA 2008-11)

47	Prior to the approval of a development plan for a hospital on Parcel 7, the applicant shall describe the measures that will be employed to mitigate disturbances from overflight over adjacent populated residential areas.	City Council / Current Planning	Tamara Baer	DP (that includes heli-pad)
49	All road improvements on Beckner Road from Cerrillos Road to Richards Avenue necessary for vehicular access to the train station shall be completed before construction of the rail stop.	City Council / Current Planning	Tamara Baer	DP (TOD)
50	The applicant shall obtain City staff approval of an access plan to the rail stop for county residents on the south side of the interstate.	City Council / Current Planning	Tamara Baer	DP (TOD)

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit C**

**ENN Meeting Notes**



## City of Santa Fe Land Use Department Early Neighborhood Notification Meeting Notes

<i>Project Name</i>	Pulte Homes
<i>Project Location</i>	Las Soleras
<i>Project Description</i>	Development of a 300+/- lot subdivision within the Las Soleras Master Plan.
<i>Applicant / Owner</i>	Pulte Homes
<i>Agent</i>	Jim Siebert
<i>Pre-App Meeting Date</i>	
<i>ENN Meeting Date</i>	12/16/14
<i>ENN Meeting Location</i>	GCCC
<i>Application Type</i>	GPA, Rezone, MPA, Variance, Subdivision
<i>Land Use Staff</i>	Tamara Baer and Zach Thomas
<i>Attendance</i>	60-70 neighbors and applicants combined

### Notes/Comments:

Meeting started at 5:40. Staff (Mr. Thomas) gave an introduction about the purpose of the ENN meeting the overall entitlement process. The intent is to gather input early in the process before anything formal is submitted to the City. Handed the floor over to Jim Siebert.

Mr. Siebert gave an introduction of the project regarding the scope and the requested entitlements.

Kevin Patton from Pulte homes introduced himself explaining the he was born and raised in ABQ.

Fred Arfman, Engineer, introduced himself and explained that he is the consulting engineer.

Garret Price introduced himself and said his job is to lead the team and further explained the history of Pulte Homes:

- Started when the owner "Pulte" built his first house at the age of 18 years.
- Acquired Del Webb in 2000 and Centex in 2009.
- Pulte sells a "Family Product"
- Garret and Kevin convinced the corporate office to "stay" in Santa Fe and build houses.
- The proposed development will be a "step up" from Villa Sonata.

Mr. Siebert gave an overview of Las Soleras including:

- Ross' Peak
- Land Use designations
- Current Development that's going on.
- Showed aerial photo
- Realignment of Rail Runner Road
- Dancing Ground would connect to Beckner under the Pulte proposal
- 1083 du's are possible under the current zoning however they are only proposing 302 because they are down zoning the property.
- Only a portion of the development site would need to be rezoned.

Mr. Price discussed the following points:

- Pulte builds communities... not just subdivisions
- This is the first time that Pulte is able to build from scratch in Santa Fe.
- 50% of families in Santa Fe are 55+ and 25% are "move up" families.
- The proposed Presbyterian Hospital will be beneficial to the area.
- The houses will range between 1,700-3,000sq. ft. with a starting price around \$350,000.

In discussing phase II of the development Mr. Price mentioned:

- Dancing Ground will connect to Beckner.
- They will build what is called the "Encore Series"
- Phase I will be geared to second home buyers with from 2,000-2,600 sq.ft. and priced around \$390,000.
- Again mentioned that the area could be developed with a lot more houses than proposed.
- The City of ABQ really likes the Pulte developments.

Phase I will include a portion of the age targeted development.

- The proposed project will help the economy

Further discussion of the "Loma Colorado" project is ABQ:

- Pulte Homes was "chosen" by ABQ to help redevelop the area.
- Various features (photos) of the development were shown to demonstrate good or positive features.
- It was highlighted that homes in the Loma Colorado development never lowered prices during the recession.
- Pulte homes brought Lowes home improvement store in.

Discussion of Mirehaven Master Plan in ABQ:

- Same product as Las Soleras.
- The project demonstrates the Pulte Homes are visionaries and are willing to invest when other developers aren't.

The Pulte team mentioned that they took the Nava Ada HOA Board on a tour of the ABQ developments. The Pulte team asked Dorothy, HOA secretary to describe what she saw and her opinion of the developments.

Dorothy spoke to the good quality of the homes in Mirehaven and the good design of the community and open space.

Pulte further discussed the product they build:

- Pitched and flat roofs.
- Showed examples of good parks in other developments.
- Mentioned that the Mayor of Rio Rancho likes Pulte.

Mr. Siebert discussed utility relocation (powerline and waterline).

Mr. Arfman explained the utility engineering

Mr. Siebert said that the trails plan would be modified as part of the master plan amendment.

Mr. Arfman discussed the road phasing plan and mentioned that Phase II will likely require connection to Richards Ave.

*At this point the applicant team had been talking about the project for one hour and audience members started making rumblings that they wanted to discuss the location of the park per Master Plan condition of approval #45.*

Mr. Siebert showed a slide outlining what Pulte planned as the approval timeline and stated that they would be submitting application on December 29<sup>th</sup>.

The applicant presentation ended at 6:45 with Pulte saying that they would send people a description of the project.

Steve Burns from Nava Ada starting speaking to the following topics:

- The Nava Ada development was not mass graded like the one proposed.
- They like the idea of narrows streets.
- That the 20-acre active park is required per condition #45 of the Las Soleras Master Plan.
- The requirements of the plan should be the starting point of the project...not changing the master plan.
- Mentioned that no topography is shown as part of the proposed development.

- Mentioned that there is no other discussion about other conditions of approval.
- Expressed concern that the proposal is far along in the process and that the Pulte has already spent a lot of money prior to the ENN.
- Expressed concern about channeling traffic on to Dancing Ground.

Beverly from Nava Ada said that traffic is the primary concern.

The applicant team spoke to the traffic issues and phasing of roads.

Richard Lang – discussed existing plan and stated his objections to the project:

- Whispering Rain looping back to Dancing Ground will not solve the traffic problems.
- Loss of 20-acre park.

The current alignment has a traffic calming effect.

Mr. Lang stated that Nava Ada has been let down by developers in the past and can't trust that roads will be completed.

Beverly stated that the road needs to go from the school to Beckner.

The Monte Del Sol School Head Learner stated:

- Park is important because the students currently have nowhere to play.
- The proposed subdivision design conflicts with future school plans.
- The proposed Walking Rain design is bad. (a large part of the crowd audibly expressed concurrence)

Question – Why are changes being proposed to the Master Plan?

Mr. Siebert explained that less parks are now needed because of the proposed density and project design.

Question – Where will the water for the project come from?

Mr. Siebert said it will come from the Rio Grande which feeds the City water system.

Question – What roads will people take to get to the model homes?

Mr. Price said they will encourage people to go down Beckner Road through marketing but cannot totally control which roads people ultimately choose to take?

Question – How do we access trails through the gated portion of the project?

Mr. Price said that interior (gated) trails will not be accessible to the public but other trail will be developed.

Steve Burns also said that they need to see how the trails will overlay with the topography.

Mr. Price said that the Pulte team will work with the public and that they have built great trails under powerlines in other projects.

Frank , HOA Treasurer – Speaking positively made the following comments:

- Becker is a very large road.
- The existing trails in Las Soleras are nice and wide.
- Thanks Richard Lang for his work on behalf of Nava Ada.

Question – What kind of process will the project go through?

Mr. Lang said that everyone will have a chance to speak at the public hearings.

Questions/Statements:

- The schools are already bad and the traffic will make the schools worse and make it harder for children to learn
- What happens to the habitat? There are already less animals in the area.
- What about culture in the City?

Ms. Bear spoke regarding the process and discouraged direct communication and discussion with the decision makers. They may have to recuse themselves from the decision making process if they talk about the project prior to the hearing.

Statement – lower density is good but a road needs to go through to Beckner.

Statement – We are the people you are targeting with the “age targeted” product. We are not mad but we’ve been hurt a lot with bad development.

Mr. Price said that they understand and hear the concerns. The HOA has communicated well.

Question – How can the neighborhood trust that good streets and trails will be built when Villa Sonata was not a good project?

Mr. Price said that Pulte will do a better job than the Centex projects by working with the City.

Questions – What kind of commercial is coming in? What about the increase in crime?

Mr. Siebert and Mr. Price said that the hospital will bring in a variety of commercial but cannot guarantee what exact type of commercial. Sometimes more people lead to more crime but they believe more people will reduce the chance of crime (eyes on the street concept).

Question – What about building a dog park?

Mr. Price said that Pulte does not build dog parks because of the liability associated with them (i.e. someone gets bitten by a dog)

Question – We heard the hospital is pulling out?

Mr. Price stated that they don't think it is leaving.

Question – Drainage is currently a problem as it floods some of Nava Ada. Will this be fixed?

Mr. Arfman said that the drainage problem will be fixed.

Beverly said the school also has a drainage problem.

Steve Burns stated that drainage should be handled as an amenity with natural vegetation.

The applicant team spoke to Mr. Burns concerns regarding drainage, vegetation and parks by giving examples of how they have handled drainage as an amenity in other communities.

Richard Lang asked if the applicants would have another meeting with the neighborhood before applying.

Mr. Price said they would have another meeting.

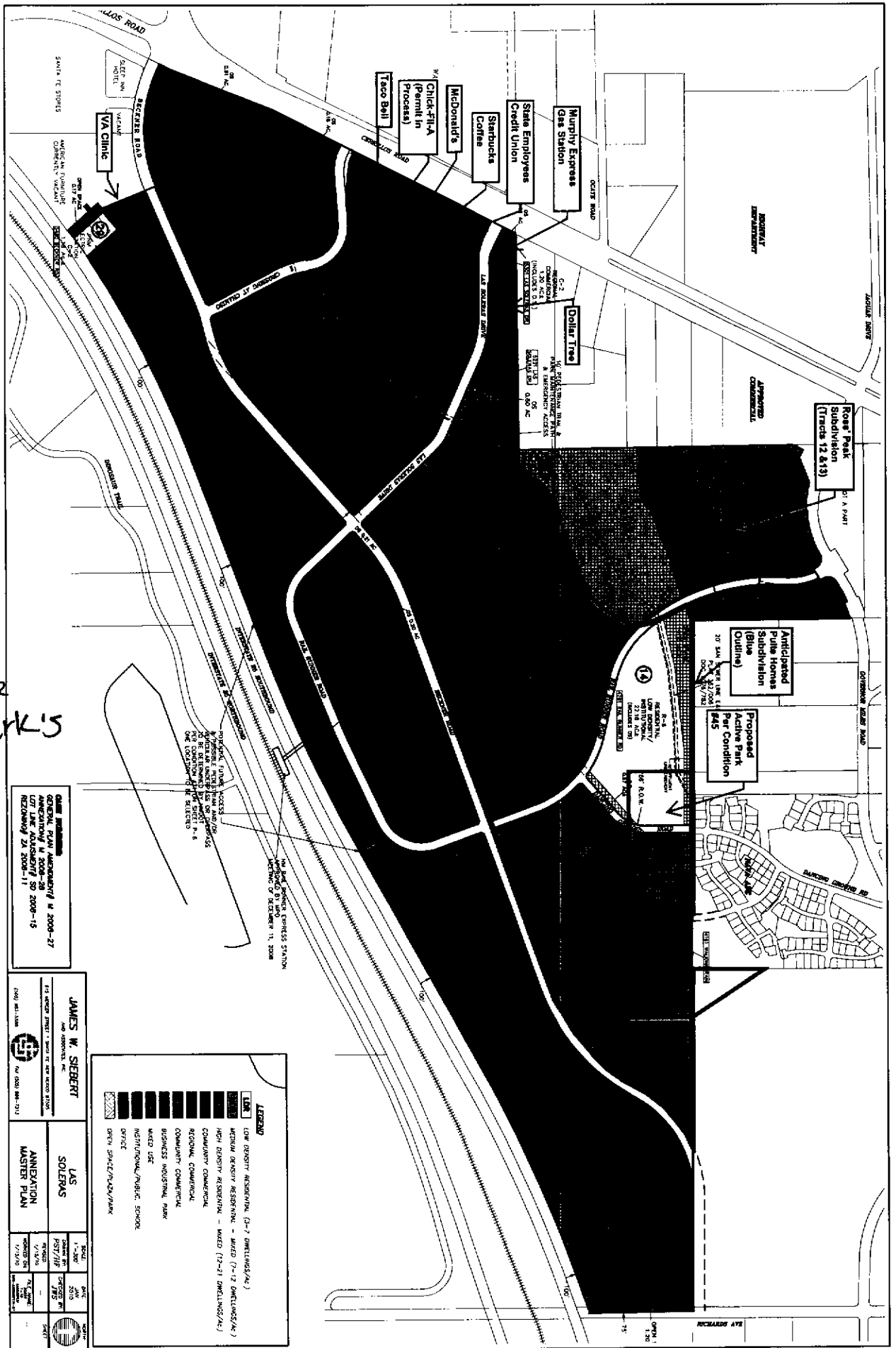
The meeting trickled off into separate discussions and ended around 8:05.

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit D**

#### **Las Soleras Master Plan Land Use and Zoning Map**



\*original  
is available  
in the Clerk's  
office.\*

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit E1**

**Public Comment Cards from ENN Meeting**

**COMMENT CARD**  
Early Neighborhood  
Notification Meeting

Date: 12.16.14 Project: Los Angeles

Please let us know your thoughts:

- define by what a road from the school to Tucker that does not use dancing ground
- having boards great tower density is bad
- open space - good - please no concrete walls like in ARB!

Your Contact Information (optional):

Name: DeVore Crockett

Phone: 617.821.0680

Email: spcrockett@gmail.com



**COMMENT CARD** Early Neighborhood  
Notification Meeting

Date: 12/16/14 Project: Las Delas

Please let us know your thoughts:

Please divert road from Hdsol  
to Beckner not back to Dandog  
Ground 7 to Gov. M.les

Consider park space near  
Hdsol - make school  
more part of community

Your Contact Information (optional):

Name: JOHN BETHEL

Phone: 434-3701

Email: jvbethe@

mae.com



# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12-16-14 Project: Pulte at Las Soleras

Please let us know your thoughts.

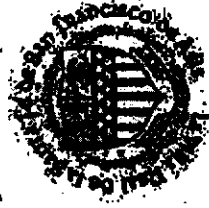
A road needs to be built  
out of Monte del Sol to a completed  
Bechner which connects to Gov. Mikes  
The original city plan for Las Soleras  
needs to be honored and not eliminate  
the park. Our 20 acre park

Your Contact Information (optional):

Name: Becky Stamm

Phone: 505 795-2705

Email: becky.stamm@gmail.com



**COMMENT CARD** **Early Neighborhood  
Notification Meeting**

Date: 12/16/14 Project: Las Colinas

Please let us know your thoughts:

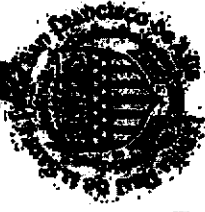
Please revert back to the  
master plan we agreed on  
weeks ago. The 600-acre park  
to the south of Nava Ade and  
a road connecting Monte del  
Sol to Beckner. ~~Beckner~~

Your Contact Information (optional):

Name: David Norvell

Phone: (505) 820-9955

Email: steele.dog@gmail.com



**COMMENT CARD**

Early Neighborhood  
Notification Meeting

Date: 12/16/14 Project: Pulte - La Salinas

Please let us know your thoughts:-

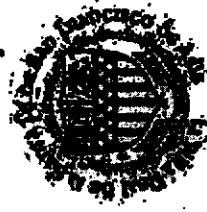
- 1) We need the park to remain  
in the plan! - The 21 acres!
- 2) We do not want the road from the  
school to Dancing Ground.

Your Contact Information (optional):

Name: Christy Jones

Phone: 474-9181

Email: Christy.K@AOL.COM



or Joe E Jones

# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: Dec 16, 2014 Project: Las Soleras

Please let us know your thoughts:

Although I understand the 220 acres  
park might be contentious, the  
presence of some sort of park/buffer  
is critical. I also believe the  
development at Beckner, and the direct  
connection from Montebello to  
Beckner, is critical for traffic control and safety.

Your Contact Information (optional):

Name: George Prothro

Phone: 575-693-3099

Email: georgeprothro@gmail.com



Early Neighborhood  
Notification Meeting

COMMENT CARD

Date: 12/16/2014 Project: Las Soleras

Please let us know your thoughts:

I strongly oppose the removal of  
the open space + park that were  
included in the master plan. I  
also oppose the proposed change  
of the road to the school from  
Beckner to Nancy Grand.

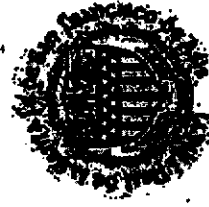
Your Contact Information (optional):

Name: Sue Bynhawk

Phone: 505-820-9965

Email: Sue@legerlawand

strategy.com



# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12-16-14 Project: Las Vegas

Please let us know your thoughts.

Our experience in Santa Fe is  
great. People are better homes  
I'd like to believe that Santa  
Fe has a higher quality  
level of trust with the  
level of trust with the

Your Contact Information (optional):

Name: Diana Finley

Phone: 505-678-4841

Email: diana.finley@global-net



# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12/16/2014 Project: Las Soleras

Please let us know your thoughts:

\* Water? explained fines but not water?  
jobs - all agree but not  
environment.  
# of lots per acre

\* traffic

\* Cl there be open space?

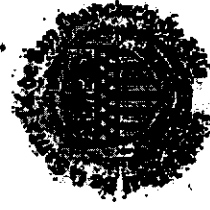
Didn't look so

Your Contact Information (optional):

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



Xalcity needs to guide approval for school safety  
 (Pinon, SF CC, Amy Brakley, Santa Nina, Ortiz  
 b) habitat - ? ? ? ?  
 c) NO topography -> why

Early Neighborhood  
 Notification Meeting

# COMMENT CARD

Ground

Project: Pulte / Dancing

Date: 12/16/14

Please let us know your thoughts:

- 1) Traffic on Governor Miles - SF has poor performing schools in state & nation - this is unacceptable - destruction of habitat
- 2) 100 many homes on a 4 acre - destruction of habitat for water, birds, gulls, roadrunners, etc.
- 3) The buffer areas sufficient for habitat, trails, homes

4) Homes look crowded for presentation

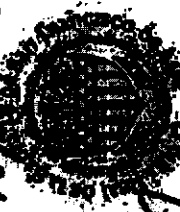
5) Parks - historical appropriate?

Your Contact Information (optional):

Name: Isabelle Sandoval

Phone: 505-474-5221

Email: isantadova@msn.com



**COMMENT CARD**  
Early Neighborhood  
Notification Meeting

Date: 12-16-04 Project: Link @ La Solera

Please let us know your thoughts:

Council do info direct access from  
Monterey del del to Berkeley. No  
connection to Washington Ave.

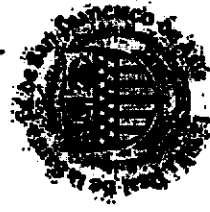
Need Open Space

Your Contact Information (optional):

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



**COMMENT CARD**  
Early Neighborhood  
Notification Meeting

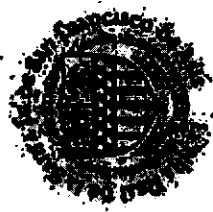
Date: 12/16/14 Project: Las Salinas

Please let us know your thoughts.

Do not allow them to re-align -  
Change traffic pattern on Delaney Blvd -  
this impacts me directly  
Maintain green spec buffers (original  
aspirations)

Your Contact Information (optional):

Name: Patricia Gallego  
Phone: 473-3161  
Email: pegallego@haman.com



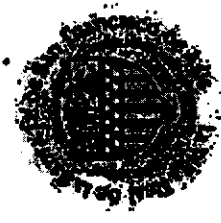
Early Neighborhood  
Notification Meeting

COMMENT CARD

Date: 12-16-14 Project: PULTE @ LAS SOLARIS  
Please let us know your thoughts:  
GIVE US A PARK-BUFFER PLEASE!

NO ROUTE EXTENDING DANCING GROUND

PLEASE



Your Contact Information (optional):

Name: SEPPEANEN  
Phone: 505 424 7470  
Email:

# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12.16.14 Project: Solera3

Please let us know your thoughts:

We are concerned about inc-  
reased traffic on Governor Miles +  
Dancing Ground

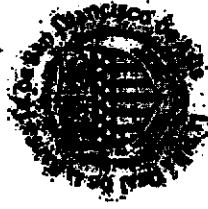
Also, we were promised a park  
between the neighborhoods.

Your Contact Information (optional):

Name: Gina Valdes

Phone: 502-317-3047

Email: gina.valdes@gmail.com



**COMMENT CARD**  
Early Neighborhood  
Notification Meeting

Date: 12/16/14 Project: Pulte - Las Soleras

Please let us know your thoughts:

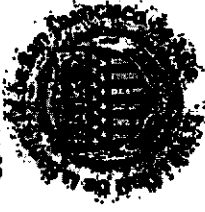
I'm very concerned about the loss of open  
space and access to trails. Traffic  
access to Monte del Sol is important,  
but shouldn't impact existing homes &  
quality of life for Nueva Ade home owners.  
I'm very concerned about increased congestion  
on Daring Ground Rd. Extremely concerned about the  
loss of the park in the existing annexation plan.

Your Contact Information (optional):

Name: Elizabeth Van Bergen

Phone: 505-204-6058

Email: lizvandenberg@gmail.com



# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: \_\_\_\_\_ Project: \_\_\_\_\_

Please let us know your thoughts:

1) We need at least a 5-7 acre  
back to build the proposed  
development I showed  
@ the original approved  
area near Monte Del Sol School.  
2) There needs to be a road  
from Mont Del Sol to Becker  
Road.



Your Contact Information (optional):

Name: Robert Bachman

Phone: 503 470 2082

Email: 1.f.fiskilling@gmail.com

Hube  
concern: ->  
connecting  
the road  
road from the  
development  
area to  
Mont Del Sol  
as proposed by  
Pulte will  
create traffic from everywhere  
area to the Pulte home development

north of the

# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 2/16/14 Project: Las Soleras

Please let us know your thoughts.

As a homeowner on Lansing  
Around Road, I see the daily school  
traffic and increased traffic on  
Lansing Road due to the Century Homes.

① Please consider extending the road  
from the school to Richard Ave.

② Please consider more park space between  
Neva Ave and the Las Soleras homes.

Your Contact information (optional):

Name: Kathy B. McShane

Phone: 505-470-7731

Email: kmcshane545@gmail.com



(I'm also a Neva Ave Board member)

# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12/16/2014 Project: Pulte at Las Encinas

Please let us know your thoughts:-

We want the approved 20 acre <sup>Active</sup> park. --

→ near the school - near school bus (including a Poo-Park)

→ We are concerned about channeling  
traffic on Dancing Ground in phase 2

→ Our neighbors are concerned and many many students, families  
at the school

→ We are concerned about loss of park and  
Your Contact Information (optional):

Name: Wendy Leighton & Theri Gondok

Phone: 505.042.9651 / 505.660.3766

Email: thealyn.gondok@yahoo.com



open space ~~large~~  
acres

\* We are  
concerned  
about  
lack of water  
and draining  
the Rio Grande

→ We want the route  
From the school to Beckner

to  
serve the  
school or  
neighbors

(condition  
45)

# COMMENT CARD

Early Neighborhood  
Notification Meeting

Date: 12/16/14 Project: Link at Las Soloras  
Please let us know your thoughts:-

In support of Monte del  
Sol Charter School

Your Contact Information (optional):

Name: Vickie Ortega

Phone: 827-5772

Email: \_\_\_\_\_



# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit E2**

**Public Comments submitted by Fax from  
Monte del Sol Charter School**

A. Robert Jessen, Ph.D.  
Head Learner  
Monte del Sol Charter School

## Statement

It is imperative for the future of Monte del Sol that the developer abide by Condition #45, an active park adjacent to the school. We have a student population of 360 students and a vibrant sports program, of which soccer is one of the most popular. Students need a space for both sports and daily activity during lunch, which currently happens in our parking lot. Two mini soccer games and a couple of volleyball circles bump up against each other every day.

Were the plan currently proposed be built, it becomes highly unlikely that any space adjacent to the school could serve as an active park. In addition, approximately 16 homes are designed to be flush with the property lines of the school. I'm sure that I would have all those home owners on my contact list in my phone. In addition, we eventually intend to build a gym housing a basketball court on that land, and with no buffer zone evening games for the state championship would probably keep them up at night.

Our second major concern is the traffic flow, mostly in case of emergency. Currently there is only one route in, and if something unfortunate were to happen, it would make it difficult for emergency vehicles to arrive.

It is in Monte del Sol Charter School's interest, best and least, that the conditions set forth by the City Council on February 11, 2009, be met.

**Monte del Sol Charter School****FAX Cover Sheet****Phone 505-982-5225****Fax 505-982-5321**# of pages (including cover sheet) 16Date 12/19/2014Time 9:15**To** Zoe ThomasCompany/School City of Santa FePhone # 505-955-6656Fax # 505-955-6829**From** Wendy Leighton - Nara Ade Resident  
- Monte del Sol TeacherSender's extension or direct phone number 505.660.6815**Comments or instructions:**

Comments in Support of  
Amendment 45  
20-acre Rock Buffering  
Monte del Sol Charter School

Zach Thomas  
Land Use Senior Planner  
City of Santa Fe

*For 505-955-6829*

December 19, 2014

Zach:

I am writing in regard to the ENN meeting I attended on December 16th with our community and representatives from Pulte Homes. I am sending comments from my students at Monte del Sol Charter School in support of the approved (Amendment 45) 20-acre park buffering our school. I teach here and live in the community of Nava Ade.

Thank you.

Wendy Leighton  
Monte del Sol Charter School  
Nava Ade Resident  
505.660.6815  
[wleighton@montedelisol.org](mailto:wleighton@montedelisol.org)

Shyanna  
Saiz

I think that we should have a park because we don't have a gym and if we had athletic fields and everything it would actually help our school and us the students a lot I would really appreciate it a lot for the park.

Please put a park it would be great for everything that's in that park we would use it for good causes.

Adilene  
Charan

I would not want the facilities to build houses & put roads on & around our school because it wouldn't affect just us but also the habitat for animals. Also if with the few houses we have houses on one side of our school coming & going to school is already too much traffic it would make it worse for students.

The park we would want to ~~have~~ have would be amazing with some fields & playground for use because it would help with P.E. Classes & going for lunch. We could have athletic fields because all the sports we mainly have we have to go to other places.

Please do not build houses do it for students. Go big with parks.

I think a 20 acre Park would help  
Monte del Sol would be nice to have because  
the Monte del Sol doesn't have a park in fact  
kids play soccer on the road which  
suchs case everytime a car appears  
we need to move the goal barrels.

AlAn Ruiz

*Margaret Shelley*  
I think we need a park mostly for athletic reasons. In our p.e class we walk to the closes park and only about 6 minutes to use the park. Our school would really appreciate a 20 acre landscaped park near the school.

Sofia Aguilar

It would be nice to have a 20 acre park, because we could do outside projects and have lunch there + etc. We could play sports there and also we could have outdoor P.E. It could make our school a better place even.

I don't think they should build houses in the 20-acre park. I think it would be better to have the 20-acre park for PE classes, lunch, and to play. If they build houses there won't be any park & the school & the neighborhoods around our school need to have a park.

I want to have facilities about the 20-acre Jewish  
park offering monte del Sol. I want this park Solares  
for better fields. we can use this for P.E.  
classes. we can use this for lunch also I  
want to get a park for play grounds.



I want the 20 acre park  
because it will make going to  
school hear 10 times better. If  
they made houses up to the  
school it would make it 10 times  
worse.

Gaby Rael

Our school doesn't have any facilities for ~~any of~~ our sports teams to practice and it would help out a lot if we had a place to practice near us. Also traffic is already bad in the morning and after school. Not putting a park would increase accidents.

Serena

If we had houses built up to the School we would have no space to do anything for our school. We would much rather have parks, or something else. If we have a park it would be such a better area with a better community. Without having parks it would be a lot better, and ~~it~~ would be a lot better for our School and community.

Aidan Roberts

We need a park because of the lack of facilities in our school. If we have a park, it will reduce traffic, and provide a safe environment to enjoy.

It would be good to have a park because we don't have a field. It would also be a place for PE classes and a space for us to eat lunch. It would make the school a lot better.

I think that a 20 acre Park bordering the school would be great. I'm new to the school and it already left a great impression on me. But imagine if new 7<sup>th</sup> graders come to the school and see the amazing Park where we can play and eat and hang out. It would be an awesome place to place soccer or football on a field instead of the street where it's not as good. So in general this Park would be excellent not just for my school, but for the community too.

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit E3**

**Public Comments Submitted by Email**

**THOMAS, ZACHARY E.**

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**From:** pumpkinpatrick@q.com  
**Sent:** Wednesday, May 13, 2015 1:01 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** PULTE - NAVA ADE

Dear Zach,

On Monday I attended the meeting regarding Pulte Developers plans for parks in their development. It was very obvious that most of the people who attended the meeting were more interested in the roads and traffic through Nava Ade than in the parks that are planned. A representative from Pulte told us that their studies show only a 10% increase in the traffic on Dancing Ground would occur. One of the people who attended the meeting told us that he had been in contact with a road engineer who told him that the traffic would be increased by 400% within two years. I would like to know who did the study for Pulte. We need a new independent study since there is such a large discrepancy, and 10% is certainly not acceptable nor accurate. Traffic on Dancing Ground is already congested with school traffic, and any traffic increase will definitely have a negative impact on our property values as well as our quality of life. We don't want the noise, crime and traffic jams!

Before the Monte del Sol school was built, we were told that using Dancing Ground as access to the school was only a temporary situation. We were told that a road would be built between the school and Richards Ave. and that this would be the road used for access to and from the school. The school was finished in 2003. So far, we haven't seen any evidence that the road which we were promised is ever going to be built.

Dancing Ground is a very narrow road and when cars are parked on it, it becomes a one lane road with two way traffic. Nava Ade residents who live on Dancing Ground and Walking Rain are unable to enter or leave their driveways when school traffic is at its peak. Also the drivers who are trying to turn onto Governor Miles Road from Dancing Ground are finding a long wait.

Before Pulte begins building their development, we need a new and accurate impact statement on the traffic and noise pollution which will occur on Dancing Ground and in Nava Ade. All of the proposed roads need to be completed or at least given a deadline BEFORE Pulte starts building homes, so that Nava Ade residents are not faced with more empty promises, a decline in property values and quality of life..

As to the parks, I have no objection to how they are split up. However, I do object to any parks with lights being anywhere near Nava Ade.

Sincerely,

Nancy Patrick

4141 Whispering Wing Rd  
Santa Fe, NM 87507



**ENCINIAS, AMANDA J.**

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**From:** THOMAS, ZACHARY E.  
**Sent:** Thursday, May 14, 2015 11:26 AM  
**To:** ENCINIAS, AMANDA J.  
**Subject:** FW: pulte developement

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**From:** [IlanasMom@aol.com](mailto:IlanasMom@aol.com) [<mailto:IlanasMom@aol.com>]

**Sent:** Thursday, May 14, 2015 11:19 AM

**To:** THOMAS, ZACHARY E.

**Subject:** pulte developement

Totally against this project.

Karen Tobin  
4436 Autumn Leaf Lane  
Santa Fe, NM 87507

Michael Smith  
4437 Autumn Leaf Lane  
Santa Fe, NM 87507

Total Block of Autumn Leaf Lane - Both Sides - Totally Against This Project.



**Monte del Sol Charter School  
and Professional Development Center**

May 14, 2015

To the Santa Fe Planning Commission:

On behalf of the Governing Board of Monte del Sol Charter School I would like to offer the following comments on the planned development by Pulte Homes immediately adjacent to our school. The points outlined below were affirmed at our Governing Board Meeting on May 12, 2015, and represent the voice of our community of over 400 families; the "residents" of Monte del Sol Charter School. I trust they will be given due consideration by the commission.

1. Active play fields immediately adjacent to the Monte del Sol Campus are ideal and would offer benefits in line with our mission. We have the most active sports program of any charter school in the area and, like most charter schools, do not have the funding or land for play fields. Shared use play fields adjacent to Monte have been anticipated and planned for for many years. The proximity to both our school and the anticipated Santa Fe Public School facility to the South makes the most sense.
2. The higher density of homes originally proposed in the plan would present an opportunity for a more walkable surrounding community; also consistent with the needs and ideals of the school. The community commercial development planned immediately to the South of the school would also benefit from the higher density of homes originally proposed. The reduction in the total active park size associated with the reduced density is not consistent with the intent of the plan, and is an unwarranted take-back on the part of the developer.
3. Condition 45 in the Conditions of Approval (Feb. 11, 2009) requires Las Solaras to consult with the Santa Fe Public Schools prior to locating the additional 20 acre active park. At that time, Monte del Sol was chartered under SFPS, and they therefor represented our interests. Since then, Monte has renewed its charter directly with the State, so SFPS no longer represents our interests. While representatives of Pulte have met with Monte and the District separately, our opinion concerning the location of the active park was not considered, though the intent of the Conditions of Approval was to do so.



**Monte del Sol Charter School  
and Professional Development Center**

4. The street network needs to give access to Monte del Sol from 2 directions in case of emergency. Since the building of the school in 2004, access has been through the residential Walking Rain Rd. (our second means of egress has been via an unimproved dirt path), creating traffic jams each morning and afternoon. While the revised Pulte plan does provide improved means of egress and limited additional access, it does so with significant and detrimental compromises. Our street frontage along Walking Rain road has been reduced by half and a cul-de-sac provided, with gated access to the campus. We have planned our future facilities, parking and bus access around full street frontage with an additional point of access. We have also anticipated direct and open access to Beckner Road, which was always intended to be our main access point. The current plan does everything conceivable to turn this into a circuitous and secondary route.

In summation, we feel the maximum benefit for the Santa Fe community as a whole would be to stick with the original plans for the park location, the road network and the surrounding density. As the developer states, their new plan is aligned with current market forces, but generations of students at Monte del Sol would greatly appreciate a more far sited approach.

Sincerely,

Brett Frauenglass  
President  
Governing Board of Monte del Sol Charter School

bfrauenglass@montedelsol.org  
505.660.0788

**ENCINIAS, AMANDA J.**

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**From:** THOMAS, ZACHARY E.  
**Sent:** Thursday, May 14, 2015 11:26 AM  
**To:** ENCINIAS, AMANDA J.  
**Subject:** FW: Las Soleras / Pulte Development near Nava Ade

**From:** Robert Bachicha, PT [<mailto:lifeskillsphysicaltherapy@gmail.com>]  
**Sent:** Thursday, May 14, 2015 10:27 AM  
**To:** THOMAS, ZACHARY E.; THOMAS, ZACHARY E.  
**Subject:** Re: Las Soleras / Pulte Development near Nava Ade

Dear Mr. Thomas,

RE: Las Soleras / Pulte Development / City Planning Meeting on Thursday, May 21, 2015 at 6PM

As a resident of Nava Ade, I ask that you please consider the excessive amount of traffic that will funnel through Nava Ade if Beckner Road is not completed before or during the Las Soleras development.

I live at Soaring Eagle Lane, right near Monte Del Sol Charter School.

As it stands, there is a traffic jam every morning and every afternoon when students arrive / leave Monte Del Sol Charter School. This traffic jam lines up cars on the small road (Walking Rain) before emptying onto Dancing Ground and then finally onto Governor Miles which is also single lane and full of speed bumps.

This will be compounded if Beckner road is not complete before Las Soleras construction. The roads within the Nava Ade neighborhood way are too narrow for this kind of traffic and there must be some other sort of route to accommodate the amount of traffic generated by this development.

Thank you for your time.

Respectfully,

--  
Robert Bachicha, PT  
Owner / Service Provider  
Lifeskills Physical Therapy and Rehabilitation, LLC  
[lifeskillsphysicaltherapy@gmail.com](mailto:lifeskillsphysicaltherapy@gmail.com)  
P (505) 470 - 2082  
F (505) 473 - 3100

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## **GURULE, GERALDINE A.**

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**From:** Sandra Brintnall <tangobabe55@yahoo.com>  
**Sent:** Monday, December 15, 2014 8:47 AM  
**To:** THOMAS, ZACHARY E.  
**Cc:** DIMAS, BILL; TRUJILLO, RONALD S.  
**Subject:** A comment on Pulte Builders Plans for Annexation for Nava Ade's Southern Border

As a homeowner of a residence in the Nava Ade development (happily for nearly 10 years now), I feel compelled to voice my concerns and insights on the proposed development of 260 units that Pulte Builders is planning for Nava Ade's southern border.

One of the reasons that I looked closely at this area for my home is because of the concept of the development in the first place. Certainly you are aware, that Nava Ade was recognized and awarded for its design, the idea of bringing the feel of old Santa Fe to this area of the city. The short blocks, the winding ways and little cul-de-sacs, brings a closeness, a warmth, and it self regulates the speed and volume of traffic. It makes for a quiet, but friendly space. My neighbors feel that, and the whole feeling of the development is welcoming and calm.

With this addition, the impact is huge and detrimental to Nava Ade. It will increase traffic, and that means noise, and that means safety concerns. It will take away a green space that will, again, take away from the charm of our area. It is only 5.72 acres of land. Can we not enjoy having land that is untouched?

Density does not lead to improvement. I fear it will lower the property values of our homes; I fear it will cause the elderly and families in our development to not enjoy the land we live on; and I fear, most importantly, that the character of our development will be changed, and not in a positive way.

I am unable to attend the meeting tomorrow to address these issues. I work at the Community College and do not get out of work until 7pm, so I am unable voice my concerns in person.

Please, PLEASE, do not allow Pulte Builders to move ahead with this annexation. The impact will be detrimental to many for many years.

Thank you for reading this e-mail.

Sandra Brintnall  
Owner of a Home  
Nava Ade

**GURULE, GERALDINE A.**

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**From:** Brittany Snyder <brittanyrose826@gmail.com>  
**Sent:** Sunday, April 26, 2015 1:19 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Beckner Road route

Mr. Thomas,

As a Nava Ade resident and local firefighter, I am quite concerned about the plans to go forward with the Pulte/Las Soleras development plans that tie Beckner Road into Nava Ade neighborhood without completion to Richards Avenue.

I have three young kids, and the idea of connecting our small Nava Ade neighborhood to an area of town that is booming, without a better alternative route is alarming and saddening to those of us who live here.

Also, the congestion on Dancing Ground when Monte Del Sol Charter school lets out is already RIDICULOUS. Do you for see this adding even more traffic?

Thank you for taking time to address our concerns.

Brittany Snyder

**GURULE, GERALDINE A.**

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**From:** marian yeske <mdromyeske@yahoo.com>  
**Sent:** Tuesday, December 16, 2014 8:37 AM  
**To:** THOMAS, ZACHARY E.  
**Cc:** DIMAS, BILL; rstrujillo@santafe.gov  
**Subject:** Comment from resident of Nava Ade at tonight's (ENN) Early Neighborhood Notification Hearing

Dear Mr. Thomas,

Please read at meeting:

I have been a homeowner in Nava Ade since 1998. Through the years I have attended meetings with the Las Soleras developer.

My biggest concern is the traffic this will create. I have two young grandchildren that live on Silent Wing, first street north off of Dancing Ground. Governor Miles Rd. has always been unsafe at the entrances of Nava Ade development. I myself have seen (from my porch) an accident at Governor Miles Rd. and Dancing Ground. Now I'm told that Las Soleras project will substantially increase traffic at Dancing Ground and Governor Miles Rd. Who will be responsible if my grandchildren are hurt? Also, what happened to the Annexation Plan's of a direct road from the school to the proposed Beckner Rd—to—Richards Ave. arterial? The promise of resolving the existing traffic congestion from Monte del Sol School is another broken promise to Nava Ade residents.

The plan is to eliminate the 5.72-acre Open Space (park) tract on the Annexation Plan along our southern boundary. Again, I have young grandchildren waiting for the construction of the park and now Pulte wants another 5.72-acres? Another broken promise if these are all approved.

I am a "very concerned resident/tax payer" in Santa Fe, New Mexico.

Marian Romero-Yeske

not resolve the existing traffic congestion from Monte del Sol School (by not building the .)

\*substantially increase traffic on Dancing Ground and Governor Miles (starting with Pulte's construction vehicles at ground-breaking)

\*not resolve the existing traffic congestion from Monte del Sol School (by not building the Annexation Plan's direct road from the school to the proposed Beckner Rd—to—Richards Ave arterial.)

\*eliminate the 5.72-acre Open Space (park) tract on the Annexation Plan along our southern boundary (one of the few remaining OS and Park tracts left out of a whopping 140-acres lost from the previous Annexation Agreement that NAHOA worked on with the city and Las Soleras developers.)

## **GURULE, GERALDINE A.**

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**From:** James Ransom <jransom@haverford.edu>  
**Sent:** Tuesday, December 16, 2014 12:09 PM  
**To:** THOMAS, ZACHARY E.  
**Cc:** DIMAS, BILL; TRUJILLO, RONALD S.  
**Subject:** Comments for ENN Meeting 12/16/14

Dear Mr. Thomas,

Here are my comments for the public record related to this afternoon's (12/16/14) ENN Meeting regarding the proposed Pulte developments in Las Soleras.

### **COMMENTS FOR THE DECEMBER 16 ENN MEETING**

I am a resident of the Nava Ade neighborhood in Santa Fe and would like to comment on the proposal by Pulte to develop two tracts of land just to the south of us in Las Soleras. Without the construction of Rail Runner Road off of the traffic circle near the west end of Governor Miles Road and the completion of Beckner Road through to Richards Avenue, the project as proposed by Pulte will present unacceptable traffic problems for the residents of Nava Ade and Villa Sonata and for the faculty, staff, and students of Monte del Sol School. It is unrealistic to expect that people driving from anywhere in town to either of the two new residential developments proposed by Pulte will choose to go all the way south to Beckner Road and then back up north to their homes. No, they will choose to come off of either Richards or Cerrillos onto Governor Miles and then down Dancing Ground and Walking Rain to their homes—that is to say, right through the heart of our neighborhood. One can see this simply by looking at a map and deciding for oneself how to go.

Those of us who live along Governor Miles, which bisects our community and borders Villa Sonata, are already experiencing high volumes of traffic throughout the day; and for those along Dancing Ground and Walking Rain south of Governor Miles, the situation is even worse, with bumper to bumper traffic mornings and afternoons. Adding additional traffic in and out of the Pulte developments will only exacerbate this already considerable problem. Construction of Rail Runner Road and the completion of Beckner Road through to Richards are the only way to prevent this from happening.

To ensure that Las Soleras traffic does use Rail Runner Road and Beckner Road when they are completed, as well as to address the already existing problems with heavy traffic on Governor Miles, steps need to be taken both to slow traffic on Governor Miles and to discourage non-residential traffic through our neighborhoods. Because Governor Miles is the only through street between Richards and Cerrillos south of Rodeo Road, it now carries a lot of traffic unrelated to the neighborhoods along Governor Miles, including a fair amount of commercial traffic cutting through from Cerrillos to Richards and vice-versa. I cross Governor Miles on foot almost daily and at different times of day—walking from my home on River Song to our clubhouse to exercise, or to Monte del Sol School where I volunteer in the gardens and serve on the committee that advises the Head Learner on issues of sustainability, or to walk the trails with my wife—and there is always quite a lot of traffic. And I frequently encounter vehicles traveling well over the 30 mph speed limit. The existing "Speed Humps" (marked at 25 mph) are ineffective. Cars and pick-up trucks sail over them at speeds as high as 40-50 mph with hardly any bounce.

Among the possible ways to address both speed and volume of traffic through our neighborhoods would be to install proper speed bumps that do require vehicles to slow to 25 mph. It would also make sense to post the speed limit at 25 mph to conform with the speed bumps. This 25 mph speed limit would also make Governor Miles west of Richards conform with the existing 25 mph speed limit on Governor Miles passing through the neighborhoods east of Richards. It would also help to have four-way stops at the main entrances to Nava Ade (at the intersection of Governor Miles and Dancing Ground) and Villa Sonata (Governor Miles and Rising Sun), just as there are already four-way stops at the entrances to the neighborhoods to the east of Richards—at Governor Miles and Cliff Palace for Pueblos del Sol and at Camino Carlos Rey and Plaza Verde for the Estates at Park Plaza.

Again, these measures to control traffic on Governor Miles through our residential neighborhoods would also function to encourage traffic generated by the new Pulte developments—and, indeed, by all future development in Las Soleras—to use Rail Runner Road and Richards to Beckner Road as the routes in and out of town, sparing Governor Miles, Dancing Ground, and Walking Rain further and truly untenable congestion.

James Ransom  
4263 River Song Lane

**GURULE, GERALDINE A.**

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**From:** FCPearson <fredpearson@att.net>  
**Sent:** Saturday, April 25, 2015 7:26 PM  
**To:** ROMERO, JOHN J  
**Cc:** MARTINEZ, LISA D.; THOMAS, ZACHARY E.; Kimberly Wiley; Richard Lange  
**Subject:** Comments on Pulte - Las Soleras TIA  
**Attachments:** Pulte TIA-Tech Comments-Revisions-Clarifications.doc

John,

Thank you for the opportunity to review the April 15, 2015, Pulte-Las Soleras Traffic Impact Study, referenced here as the TIA, prepared by Terry O. Brown, PE and presented to the City of Santa Fe. My review raised a number of questions and concerns regarding the TIA analysis of traffic impacts on Nava Adé. I hope that these questions can be addressed and resolved quickly, as I remain supportive of the type of high quality residential development for which Pulte is known.

Attached for your consideration is a summary of specific comments and concerns on a variety of technical issues in the TIA. I would appreciate your responses and suggestions for TIA revisions, where appropriate.

As a general observation, the TIA document appears to combine two disparate and incompatible analyses;

1. A comprehensive and detailed traffic analysis (which unfortunately fails to fully address Nava Adé concerns regarding the basis for and amount of regional through traffic created by the Pulte subdivision street extensions, and
2. A two page VISSUM addendum (plus maps) which uses a different model done at a different time by different analysts for different forecast years (2035 vs. 2017), with inconsistent development assumptions and street networks, lacking turn movements and Level of Service analysis, providing discrepant traffic forecasts (PM peak hour volumes 54 percent higher on Dancing Ground Road versus the April 2015 TIA volumes).

This basic incompatibility within the TIA document does not provide the technically acceptable and consistent approach needed to fully evaluate the significant regional traffic impacts imposed on the Nava Adé community, especially regarding the lack of a Beckner Road connection to Richards Avenue. An expanded 2017 traffic analysis is needed which explicitly compares Dancing Ground Road traffic impacts both with and without Beckner Road extended to Richards Avenue, and which addresses non-major intersection traffic and driveway impacts for local residents along Dancing Ground Road.

Even though a number of technical TIA questions remain, it is clear that the traffic impacts on Nava Adé would be both severe and unacceptable. These traffic impacts include the addition of heavy regional traffic through Nava Adé, with peak volumes more than four times current volumes on Dancing Ground Road. The only prudent course is to not connect Dancing Ground Road / Walking Rain Road to Beckner Road until Beckner Road is connected to Richards Avenue. Other options (Rail Runner Road) may be pursued to provide a second access/egress for the Pulte development if needed.

I hope that the necessary TIA changes and revisions can be made before the Pulte Development proposal goes before the Planning Commission. I look forward to your response, hopefully in support of a City requirement that Beckner Road be connected to Richards Avenue before any connection is made to Dancing Ground Road or Walking Rain Road.

I would be happy to meet with you to discuss ways to support the technical aspects of this study in order to provide our community with a viable traffic plan for this new high quality development. The opportunity to define a transportation

system that best serves the public in the early stages of development makes for a more cohesive community. Please let me know how I can support the City's development planning efforts.

Fred Pearson  
4121 New Moon Circle  
Santa Fe, New Mexico 87507

Attachment:  
Technical Comments and Questions on the Pulte TIA and Suggested TIA Revisions/Clarifications

**GURULE, GERALDINE A.**

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**From:** ISABELLE M SANDOVAL <isantadoval@msn.com>  
**Sent:** Saturday, December 13, 2014 7:41 PM  
**To:** THOMAS, ZACHARY E.  
**Cc:** DIMAS, BILL; TRUJILLO, RONALD S.; kswiley@hotmail.com; Dorothy Seaton  
**Subject:** December 16 Meeting-Pulte

Good Evening Mr. Thomas,

The purpose of my communication is to endorse the position of the Nava Ade Board relative to the proposed construction of 260 residences bordering the southern boundary of Nava Ade. My name is Isabelle Sandoval; I live at 4358 Lost Feather in Nava Ade.

As a retired principal/administrator of Santa Fe Public Schools and adjunct professor, I am most concerned about your department providing adequate action to protect the ethical guardianship of citizens, students, and community to enforce safety in our area of the city of Santa Fe. I have lived in Nava Ade for seventeen years. I have witnessed the profound changes from my home as more homes have been constructed while the standard of safety for citizens and habitat has eroded substantially.

1) My first concern centers on the safety of citizens, students, and community members of Monte del Sol Charter School, Pinon Elementary School, Ortiz Middle School, Capital High School, Amy Biehl Community School, Santo Nino Elementary School, and Santa Fe Community College. Governor Miles is a major street artery connecting vital learning communities within the confines of the city of Santa Fe. As measured by the New Mexico Public Education Department, the learning achievement proficiency of students in our schools is quite dismal in Reading and Math as documented by state assessments. To burden Governor Miles with construction vehicles and schedules will impede quality education for the immediate seven schools near this project. This is unacceptable.

2) My second concern centers on the safety and conservation of the habitat. Juniper and pine trees, along with native plants, will be destroyed to construct urban homes in contradiction of vested Santa Fe historical values. Water drives growth. Can Santa Fe support another urban development and lose the beauty of native life? I have observed the decrease of pine siskins, scaled quail, blue jays, humming birds, and grosbeaks already. This is unacceptable.

I urge you to adhere to the highest standard of integrity to protect the safety of citizens, students, community members, and habitat as this issue unfolds. I plan on attending the meeting. I also emailed my neighbors where I serve as a Block Captain of our Neighborhood Watch Program to attend this meeting.

Respectfully,

Dr. Isabelle Medina Sandoval  
4358 Lost Feather

**GURULE, GERALDINE A.**

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**From:** Kathleen Reyes <reyeskathleen@aol.com>  
**Sent:** Sunday, December 14, 2014 3:36 PM  
**To:** THOMAS, ZACHARY E.; DIMAS, BILL; TRUJILLO, RONALD S.  
**Cc:** r\_lange@comcast.net; sandrajen@q.com  
**Subject:** ENN Meeting

To All of the Above:

I am sorry I will not be able to attend the meeting on the 16th.

I have lived in Nava Ade for 15 years. We have had many neighborhood meetings about the roads entering and leaving Nava Ade. The neighborhood is and always has been concerned with maintaining our quality of life. Therefore, roads are very important to this end for the community.

I think it would be in Pulte's best interest to follow the guidelines already agreed upon by the neighborhood. In addition, I think it would be better construction wise to make a road from Cerrillos to Richards via Beckner Road rather than adding significantly more traffic on Dancing Ground. As it is the neighborhood is having difficulty exiting and entering Nava Ade when the Monte Del Sol School is commencing and letting out classes. At some point it would definitely be good if a road was built from the Monte Del Sol School to Beckner Road to alleviate some of this traffic as well.

If any questions, comments, etc., please do not hesitate to contact me.

Best

Kathy Reyes

**GURULE, GERALDINE A.**

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**From:** BAER, TAMARA  
**Sent:** Tuesday, January 27, 2015 9:54 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** FW: Document I promised to send you

**From:** Burns, Steve [mailto:steve\_burns@nps.gov]  
**Sent:** Tuesday, January 27, 2015 9:30 AM  
**To:** BAER, TAMARA  
**Subject:** Re: Document I promised to send you

Hello Tamara,

I didn't have a chance to provide written comments with all going on during the Holidays and our son moving to AZ and helping them move. I received a call last night from Dr Jessen, Head Learner from Monte del Sol and Nava Ade resident. He wanted to let me know about the meeting that Pulte set up with him a while ago to "address" his concerns. He had several architects and planners with him that are parents of students at the school and the are school district architect so he was well represented. The school is very much interested in condition 45 and supportive of the park as planned. When questioned, however, the issue of the park was evaded. Jim Siebert is requesting a follow up meeting. My understanding from reading the language of the condition is that they can not even proceed until condition 45 is met and the issue of the park requirement of an additional 21 acres is resolved.

Is there any new information on this you can share from the city perspective now that the plans have been officially submitted? Are there any drawings they have shared proposing the 21 acres somewhere other than what is currently approved South of Nava Ade and surrounding the school? Jim Siebert never responded to my request by the way.

Thanks

Steve

Steve Burns Chavez  
Landscape Architect  
National Park Service  
National Trails Intermountain Region  
PO Box 728  
1100 Old Santa Fe Trail  
Santa Fe, NM 87504  
(505) 988-6737  
(505) 986-5214 fax

On Thu, Dec 18, 2014 at 5:29 PM, BAER, TAMARA <[tbaer@ci.santa-fe.nm.us](mailto:tbaer@ci.santa-fe.nm.us)> wrote:

Steve – Nothing in the way of an application has yet been submitted. I would hate to have you spend time responding to a plan that does not correspond to what they showed at the ENN. Assuming they actually submit applications on or by December 29<sup>th</sup> for the February 5 Planning Commission hearing, the deadline for you to have your comments included in the Planning Commission packet would be January 26. Even that has a little leeway since we distribute packets on January 30<sup>th</sup>.

The implied argument regarding the park, and the argument I believe they will try to make for its elimination, is that it is no longer needed because of the proposed reduction in density. What this fails to address is the initial requirement for the park by the Council was not based on density or number of units. It was a stand-alone condition of approval. But this is partly why they kept repeating the misleading numbers of 1000 potential units versus the 300 that they will provide.

I'm not as concerned with the provision that allows the 20 acres to be broken up because they have not proposed to break it up. That may be another battle in the future, should they propose such a thing. The requirement for the 20 acre park is exactly as it was and as is clearly stated in the Findings. The current battle looming will be over whether they need to provide the park at all.

The City staff supported the possibility of breaking up the 20 acres in the interest of some accommodation to the applicants and to allow for flexibility with the built-in safeguard of requiring multiple agency buy-in. It was never a blanket permission to break up the acreage, just that it could be considered as development plans became more firm.

I will be interested to know if Mr. Siebert is willing to provide you with their plans. – Tamara

**From:** Burns, Steve [[mailto:steve\\_burns@nps.gov](mailto:steve_burns@nps.gov)]  
**Sent:** Thursday, December 18, 2014 9:49 AM  
**To:** BAER, TAMARA  
**Subject:** Re: Document I promised to send you

Hi Tamara,

Thank you for the kind words. Is there a time frame for the comments? What I would like to do and have started is go over all the conditions and look for those relevant to us and where it appears they may not be addressing

them. The sentiment of wasted time at having approvals and conditions previously ignored or set aside was shared by many including myself and I hope I have enough time with the holidays to provide comments and not have it be wasted effort. The Park seems to be so blatant since the language is clear even if they are to break up the park that this has to be addressed and approved before they start any subdivision? It was completely ignored and I have a hard time imagining how you get an active park with required ball fields and infrastructure on 20 acres broken up throughout the development. Maybe my sense of scale is off but even if this was the approach then, as I read the condition, it needs to be shown how and addressed before any subdivision plans are submitted? They could save themselves a lot of community grief and backlash if they left the park as shown but if they have a better idea for the park they didn't address it all. Maybe it is common that earlier phases of the process and the plans and conditions from the land use approval phase get easily forgotten or changed? As I started reviewing the conditions, it seemed that there were a number of them that it doesn't seem are being addressed. This is my first time with this process so I really appreciate all the information you've helped with on this.

Interesting about Richard since he never shared this with me when I brought it up and in several email exchanges we were having with several nava ade folks involved. Richard has been antagonistic with me for several years over a few issues in the community and that really came to a head over the TOD at Las Solares in which he drove the board to oppose it and I tried to convince them that it was a positive benefit to us. Micro politics. Did Zach not have this information when we met at your office? Maybe this was brought up but it didn't register with me since I left with a clear impression that the park as shown on the map was the agreed to and current location and not that the commission had approved it be broken up. In reading the commission finding of fact it is clear they approved the applicants request to break up the park and distribute it and that this was the staff recommendation. Is it possible to get a copy of the staff report? At this point does anyone know what the requirement or what is proposed for the required 20 acre park or park land?

Thanks so much.

Steve

Steve Burns Chavez

Landscape Architect

National Park Service

National Trails Intermountain Region

PO Box 728

1100 Old Santa Fe Trail

Santa Fe, NM 87504

(505) 988-6737

(505) 986-5214 fax

[REDACTED]

[REDACTED]

[REDACTED]

On Thu, Dec 18, 2014 at 8:46 AM, BAER, TAMARA <[tbaer@ci.santa-fe.nm.us](mailto:tbaer@ci.santa-fe.nm.us)> wrote:

P.S. Zach reminds me that these are the same Findings that he sent to Richard Lange two weeks ago. Richard sent them to Dorothy, who sent them to you, who sent them to me, and which I forwarded back to Zach again. Full circle.

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**From:** BAER, TAMARA  
**Sent:** Wednesday, December 17, 2014 5:44 PM  
**To:** 'Burns, Steve'  
**Cc:** THOMAS, ZACHARY E.  
**Subject:** RE: Document I promised to send you

Steve – Thank you for your comments at the ENN. They made me proud to be a landscape architect.

It would be useful to provide additional –or reiterative- comments in writing. The ENN is the applicant's meeting and a time for the attendees to provide comments primarily addressed to the developers. You may wish to address your further comments to the Planning Commission. That said, testimony given in person at the hearing actually carries the most weight, even over written comments. So I certainly encourage you to come to the hearing(s) and speak directly to the Commission.

You will want to contact Jim Siebert to request copies of their material, which has not been provided to us. I would give it to you if it had been. Here is his contact info:

*James W. Siebert & Associates, Inc.*

*915 Mercer Street*

*Santa Fe, New Mexico 87505*

*(505) 983-5588*

*(505) 989-7313 Fax*

*[jim@jwsiebert.com](mailto:jim@jwsiebert.com)*

Thank you also for the Findings, which I am attaching to this email for Zach Thomas' benefit and which I hope to review with him tomorrow. – Tamara

*Tamara Baer, ASLA*

*Manager, Current Planning Division*

*Land Use Department*

*City of Santa Fe*

*505-955-6580*

*[tbaer@santafenm.gov](mailto:tbaer@santafenm.gov)*

**From:** Burns, Steve [[mailto:steve\\_burns@nps.gov](mailto:steve_burns@nps.gov)]

**Sent:** Wednesday, December 17, 2014 10:57 AM

**To:** BAER, TAMARA

**Subject:** Fwd: Document I promised to send you

Hi Tamara,

I hope the meeting last night was beneficial and the large turnout and interest will be useful. I am forwarding this Planning Commission finding from 2010 from Dorothy who sent it to me. This addresses the 20 acre park addition requirement. After looking at it seems that the plan version you provided showing the 20 acre park as a contiguous rectangle abutting the south side of Nava Ade must have been later changed by the planning commission to support breaking the park up into smaller pieces throughout the development. Non of this was addressed last night and I will be interested to see how an active park requirement and condition can be broken up and spread out and still meet the objectives of an active park. I imagine it would be a design challenge with the space requirements for an active park to be on suitable terrain, provide sufficient parking, provide sufficient space for fields and the possible inefficiency of sports fields being spread or distributed over different areas. Or, has the condition changed so that breaking up the park can be met as open space and not active park?

Would it be useful to provide written comments on the proposal that I might be able to add and articulate additional concerns not addressed at the ENN or are the comments provided during the meeting sufficient? After getting into some conversations with the Pulte folks I forgot to ask if I could get a copy of the drawings which would make it possible to review and provide comment on. If you have a contact you could provide me I can see if they can give me any copies of the drawings if additional written comments would be useful.

Thanks.

Steve

Steve Burns Chavez

Landscape Architect

National Park Service

National Trails Intermountain Region

PO Box 728

1100 Old Santa Fe Trail

Santa Fe, NM 87504

(505) 988-6737

(505) 986-5214 fax

[REDACTED]

[REDACTED]

[REDACTED]

----- Forwarded message -----

From: **Dorothy Seaton** <[ds8447@gmail.com](mailto:ds8447@gmail.com)>

Date: Wed, Dec 17, 2014 at 9:35 AM

Subject: Document I promised to send you

To: [steve\\_burns@nps.gov](mailto:steve_burns@nps.gov)

Hi Steve,

The document I was describing to you last night is attached.

**GURULE, GERALDINE A.**

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**From:** jeanne roblyer <jroblyer@hotmail.com>  
**Sent:** Saturday, December 13, 2014 5:14 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Hi

Zach,

I'm a concerned owner/resident of a house in the North section of Nava Ade. When I first heard of the approval of this project I wrote to the New Mexican. At that time my main concern was the water issue and how was that going to be addressed.

Since then some other questions have arisen;

. I understand that the project was approved with the understanding that a buffer space would be left around the existing development. How can they change the plans from what has been approved?

. Santa Fe, and New Mexico in general, has a high employment rate. From what I have heard Pulty brings in their own builders and may hire a few day laborers, so no help there. When these houses are built where are the residents going to work?

. Santa Fe is known for its beauty. Pulty/Centrex seems to just level the land and nothing is left. This seems completely contrary to the idea of 'The City Different.'

. As a retired teacher, are new schools being built for 500-700 students? Do you have teachers ready to staff such schools? Right now New Mexico does not have a very high rate of high school graduates, I think we are just above Mississippi.

. Can the infrastructure of this area handle 500-700 more cars?

. Again, water is a big concern.

. Concerns about light, noise, and air pollution are also there.

I plan on attending the meeting Tuesday evening but I am sure these are all concerns that have been already brought up but I thought I would just throw my opinions in first.

Thank you,  
Jeanne Roblyer

"Poor New Mexico,! So far from heaven, So close to Texas!" Gov. Manuel Armijo

**GURULE, GERALDINE A.**

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**From:** Erin Taylor <erintaylor505@gmail.com>  
**Sent:** Sunday, April 19, 2015 1:05 PM  
**To:** THOMAS, ZACHARY E.  
**Cc:** bwest@hoamco.com  
**Subject:** Las Solaras Beckner Road Connection

Mr. Thomas,

I am writing as a homeowner in the Nava Ade subdivision located near the upcoming Las Solaras development. My home is approximately one house away from Walking Rain Road, and one block from Dancing Ground. The Nava Ade homeowners association has informed me that the City of Santa Fe is considering connecting Beckner to either Walking Rain or Dancing Ground. We have many neighborhood concerns about the increased traffic this could produce.

Nava Ade was developed to have extremely narrow streets. My particular street does not allow street parking, which means guests must park on Walking Rain. The change of direction to the stop sign at the intersection of Walking Rain and Soaring Eagle has already increased the speeds on Walking Rain going into and out of the Monte del Sol School. When school lets out at 4PM, it is not unusual for traffic to be backed up all the way from the stop sign at Dancing Ground and Gov. Miles back to the school parking lot creating congestion along the entire length of Walking Rain. As southside development has increased, Gov. Miles has become a popular route between Cerrillos and Richards and pulling out onto Gov Miles with an uncontrolled left turn around 8AM can be a perilous act due to the limited visibility with trees in the median.

I personally believe that the Monte del Sol School would benefit from another route in and out of the school parking lot. However, the width of Walking Rain is so narrow that when cars are parked along the one side open for parking, traffic must wait when school buses come down the road, as it feel too narrow for a parked car, a school bus and another vehicle in the lane. I am concerned that additional traffic on Walking Rain will exacerbate the congestion during peak use times and possibly create traffic accidents or hazards due to the narrowness. I'm not sure if it is possible for Beckner to connect all the way through to Richards, but Walking Rain seems a poor choice for heavier traffic. Perhaps Dancing Ground is somewhat wider? These small residential streets should be widened if they are to carry a heavier traffic burden, however that would seriously interfere with the character of the neighborhood. There are also cyclists and pedestrians and during the peak times, these streets are already too narrow to accommodate parked vehicles, 2-way traffic and buses.

I believe the Nava Ade HOA is requesting a different traffic plan to avoid heavy traffic cut-throughs in Nava Ade and I hope you will consider this infrastructure investment with the Las Solaras development. Thank you for your consideration,

Erin Taylor

**GURULE, GERALDINE A.**

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**From:** Michael G. Smith <mgsmith57@gmail.com>  
**Sent:** Monday, May 11, 2015 12:41 PM  
**To:** MARTINEZ, LISA D.  
**Cc:** THOMAS, ZACHARY E.; Dorothy Seaton  
**Subject:** Las Solera/Pulte development south of Nava Ade

Dear Ms. Martinez,

I am a Nava Ade homeowner and would like to comment on the Las Solera/Pulte development south of Nava Ade. Thank-you for the opportunity to do so. I would do so at the ENN meeting today but I am out of town.

Many of us purchased our homes in Nava Ade because of its low traffic density and quiet atmosphere. The streets, as well as Governor Miles, were not designed for heavy thru-traffic. A 20 acre park, that is likely to be a sports complex, adjacent to Monte del Sol Charter School would most certainly result in increased traffic, noise and light pollution in many parts of Nava Ade. Hence, I do not support such a complex adjacent to Monte del Sol and Nava Ade.

I do support Pulte's revised plan of the 5.74 acre landscaped park on Nava Ade's southern border. Furthermore, though my preference would be to keep as much of the La Solera area as "wild" as possible, relocation of the 20 acre complex to the southwest area of La Solera with convenient access to south Cerrillos Road makes much better sense to me. My guess is the growing commercial enterprises, i.e. WalMart, Starbucks, etc, would agree.

Finally, I would like to add that I, like many Santa Fe residents, am quite concerned about the stress of further development on the city's limited and declining water resources. I hope you consider these facts in the La Solera planning process.

Thank-you for the opportunity to comment.

Michael G. Smith, Ph.D.  
4437 Autumn Leaf Lane  
Santa Fe, NM 87507

**GURULE, GERALDINE A.**

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**From:** Willa Nehlsen <mswcn1@gmail.com>  
**Sent:** Thursday, February 19, 2015 2:33 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Las Soleras and the Pulte Development Plan

Dear Mr. Thomas,

I just learned of the opportunity to comment and so was unable to meet the February 18 deadline. I want to let you know that I support Pulte's proposed delay in extending Dancing Ground into the development until Beckner Road is extended to Richards. There already are serious problems with traffic at the intersection of Dancing Ground and Governor Miles during school traffic hours. As a retired person I have only experienced this traffic once, but I was shocked at the near-gridlock that occurs at this intersection, with parents coming in and out of Dancing Ground from the school, Santa Fe city school buses stopping to pick up students at the intersection, and general rush hour traffic. On that occasion, coming south on Dancing Ground, I changed my plans to avoid attempting a left turn onto Governor Miles. Any increase in traffic would make the situation even more intolerable than it already is, especially for parents who must face it every school day.

Thank you for the opportunity to comment.

Willa Nehlsen  
4131 Big Sky Road  
Santa Fe NM 87507

Sent from my iPhone

**GURULE, GERALDINE A.**

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**From:** Wendy Leighton <wwhite66@gmail.com>  
**Sent:** Tuesday, February 17, 2015 6:42 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Las Soleras and the Pulte Development Plan

Zach:

I am writing as a resident of Nava Ade and teacher at Monte del Sol Charter School. I am concerned about any increase in traffic and support Pulte's proposed delay in extending Dancing Ground until Beckner is extended to Richards.

I am also writing to express that Pulte honor their agreement with the city and school and build a 20 acre park bordering Monte del Sol Charter School.

The residents and school community believe strongly that creating natural parkland, open space, trees, parks for children/nature and places to come together with picnic tables build community.

Thank you.

Wendy Leighton

**GURULE, GERALDINE A.**

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**From:** Diane Finley <diane.finley@sbcglobal.net>  
**Sent:** Wednesday, December 10, 2014 1:03 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Las Soleras Development

I am a homeowner in Nava Ade and am writing to voice my objections to the proposed residential development in Las Soleras. From several things I've read, Pulte is trying their usual bait-and-switch tactics. We in Nava Ade should not be subjected to this development and the negative repercussions which we will experience - traffic, noise, ugliness.

I moved here from Southern California to get away from the Pultes of the world, with their mass production of cookie-cutter homes. Have you looked at the Centex homes to the west of Nava Ade? Centex is owned by Pulte, and these homes are crammed next to each other, house after house just like the ones on either side of it, garages the first thing you see.

In addition to these factors, why are any new homes necessary? Hundreds if not thousands of houses are on the market in Santa Fe; there is no housing shortage here. And where is the water coming from? It takes hundreds of thousands of gallons of water to build a new house, then there's the required usage once the house is sold. To my way of thinking, if this goes forward, it will drive down the value of our homes, as Santa Fe, and particularly the southside, will come to be known as a place with questionable water availability.

PLEASE DON'T LET PULTE CALIFORNICATE SANTA FE!!!

Diane Finley  
4236 New Moon Circle  
Santa Fe - 87507

**GURULE, GERALDINE A.**

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**From:** Ellen Buselli <ebuselli@aol.com>  
**Sent:** Monday, May 11, 2015 11:27 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** LOS SOLERAS/PULTE PLAN South of NAVA ADE, Santa Fe, NM

**To Mr. Zack Thomas, Land Use Senior Planner - City of Santa Fe Land Use Department:**

As a Nave Ade homeowner on Dancing Ground, I am writing again to express my concerns for the Los Soleras development area bordering Nava Ade.

I am not able to attend the ENN meeting on Monday, May 11th at the SouthSide Public Library at 5:30PM to discuss the open space that is being proposed, and so I am sending these comments for the record.

1. The issue concerning the 20 acre active regional park with "sports fields" near the Monte del Sol Charter School and on Nava Ade's southern boundary and how it will be allocated is of serious concern to me as a home owner in Nave Ade. I had been under the impression previously that this park was a landscaped open space to be used in a quiet manner with walking trails and beautiful natural terrain that would maintain and increase the quality of life in Nave Ade.

**Instead, I have just learned that it is a recreational regional games park that includes "sports fields". This type of park changes the situation dramatically, and it will create hazardous and overwhelming traffic and overwhelming noise problems in our small community especially on Dancing Ground.**

This type of active park would increase the traffic and noise levels on Dancing Ground and Walking Rain during the day, evening and weekend. These small roads are already overburdened with the traffic created just from the regular commuting of students and teachers from the Monte Del Sol Charter School. There have been numerous traffic accidents on Dancing Ground/Walking Rain with cars and school buses because the roads cannot handle this type of traffic. The use of the 20 acre park as a regional games park with "sports fields" will create a serious and unsafe community traffic and noise problem for the Nave Ade residents. The Nave Ade community was not designed to handle this type of traffic and use. The idea of having this park so close to the community is absolutely frightening.

I am in agreement with the Nave Ade HOA Board Position/and new Pulte revised Plan to reallocate the use of this 20 acre to an area that is not near our border, and instead have a 5.74 acre landscaped park near the Nave Ade community. This will not increase the traffic on our streets, particularly Dancing Ground and Walking Rain.

2. The issue of Dancing Ground being a direct link to Beckner Road is unacceptable. In the original 2010 plan, Dancing Ground was a side road that bended at an angle into another road and was not a direct link to Beckner. Dancing Ground road is not made to be a major thoroughfare for this area. Dancing Ground needs to remain a side road, not a direct link to Beckner. Otherwise, the traffic and noise will be overwhelming for this small Nave Ade community. With the addition of the Las Soleras/Pulte community, the roads need to be designed to keep all traffic at a minimum for both communities.

3. Issue of having a direct road from Beckner or from Richards to the Monte Del Sol School is essential to the well-being of the Nave Ade community. The current Pulte Plan does not help this situation at all and continues to use Dancing Ground and Walking Rain as the main ways to get to/from the School. This unacceptable, and the traffic and noise problems that are occurring now will be just as bad if not worse, and will escalate as more families and homes are in the area. The direct road to the school from Beckner or Richards must be built for this area.

4. The issue of not having a road from Beckner or from Richards to the Pulte development while it is being built is completely unacceptable. This new alternative road from Beckner or Richards needs to be built first. The use of Dancing Ground as the road for all traffic is unacceptable, dangerous, and overwhelming to the community and especially those living on Dancing Ground. The alternative road from Beckner or Richards must be built first, and then can be later used as a permanent road to get to/from the Monte del Sol School.

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Please include my comments for the record. Thank you for the opportunity to voice my concerns, and to help maintain the quality of life in our wonderful Nava Ade community.

Best regards.

Eilen Buselli  
Nava Ade Homeowner on Dancing Ground Road, Santa Fe, NM  
May 10, 2015

**GURULE, GERALDINE A.**

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**From:** Kimberly Wiley <kswiley@hotmail.com>  
**Sent:** Wednesday, April 22, 2015 2:58 AM  
**To:** THOMAS, ZACHARY E.  
**Cc:** Richard Lange; Kathy McGee; Isabelle Sandoval; Frank Nordstrum; Dorothy Seaton; Diane Finley; Beverly Jimmerson  
**Subject:** Meeting Request

Dear Zach.

The Nava Adé HOA Board (NAHOA) has been informed by Jim Siebert that your office is under the impression that we are in support of a 20-acre active park on our border -- nothing could be further from the truth! We have not delivered our submittal to you, as we still had some questions pending for John Romero, prior to finalizing it.

However, I can state unequivocally, that the NAHOA Board is NOT in favor of a 20-acre park on our southern border. While we expressed at the ENN that we were interested in having some buffer between Nava Adé and the traditional family half of the proposed development (similar to what is being planned for the "age-targeted" side), the revised Pulte plan has taken care of that.

I am currently traveling out of the country, but Dorothy Seaton, the NAHOA Vice President, will follow up with you to schedule a meeting with you, so that she and other NAHOA Board Members can make our position on the matter clear.

I regret if there has been some confusion. The Board had made an effort to request that Nava Adé homeowners send their opinions to you, but it's important to realize that any of those opinions represent solely a single household. Only the NAHOA Board is permitted via our by-laws to represent the community, and the Board has been unanimous and consistent in our view: we are not in favor of a 20-acre active park on our southern border. We appreciate Monte del Sol's position, but we do not share it. Our residents are here 24x7 year round, and the burden of the lights, noise, traffic, and increased risk of crime & vandalism outweighs the convenience of having playing fields adjacent to the school. We understand that Pulte has offered to build a soccer field and paved path from the school to the field in a nearby open area, and while we don't have the details on it, in concept, we feel that this is a good solution.

Thank you, in advance, for your attention to this matter.

Sincerely,

Kim Wiley  
President, Nava Adé HOA Board

cc: Nava Adé Board  
Richard Lange

Sent from my iPhone

**Nava Adé BoD Statement:  
Early Neighborhood Notification (ENN) Meeting  
Monday, May 11, 2015**

1. Introductions:

- Kimberly Wiley, President
- Dorothy Seaton, Vice President
- Diane Finley, Treasurer
- Kathy McGee, Secretary,
- Frank Nordstrum, Director
- Beverly Jimmerson, Director
- Isabelle Sandoval, Director

2. Background:

- The Nava Adé Board has been involved in researching, discussing, and formulating our response to the proposed development since last November.
- We've met with Pulte executives, staff and consultants and toured two Pulte communities in New Mexico, similar to what is proposed for Las Soleras.
- We've met several times with Land Use, Transportation, and other City staff to seek clarification and guidance.
- We've received technical assistance in formulating our position from Richard Lange, former Chair of the Nava Adé HOA Committee on Las Soleras 2001-2008, and Fred Pearson, retired transportation planner and traffic engineer. Both are Nava Adé residents.
- We've also received input from our HOA members at meetings in December and March, email exchanges, and telephone and face-to-face conversations, and kept them informed of our findings in these venues, as well as in additional mailings.

3. Nava Adé Board Position:

- While our opinion does not reflect the unanimous view of all 465 HOA members, it is the ***unanimous*** view of the Board
- The Board supports Pulte's revised plan to distribute and relocate the designated parkland for the following reasons:
  - Following feedback from the December ENN meeting, the revised plan now includes a landscaped park along our entire southern border, augmenting the 5.72 acres of open space shown on the current Master Plan (dated 1/15/10).
  - Our main concern about the development has always centered around increased traffic on Dancing Ground, a residential street – the driveways for 19 homes are on Dancing Ground. It is already overwhelmed twice daily by school-related traffic. A 20-acre active park on our border, accessible through Dancing Ground and the Walking Rain extension, would add to that burden by increasing daytime, evening, and weekend traffic.

- Nava Adé was not planned, designed, and built, nor homes purchased with an understanding that there would be a 20-acre active park on our southern border. In 2001, the active park was sited along I-25 and an institutional tract, and the 2003 Annexation plan shows this. And, the current Master Plan (dated 1/15/10), given to us last fall by Land Use, contains no such entity.
- It is difficult to get a definition of what constitutes an “active” park; however, our understanding, via Fabian Chavez, former Parks Division Director, and courtesy of Mary MacDonald, Project Manager for the “South Park” project is as follows: “active” parks are parks that have play and/or sports activities areas, such as playgrounds, basketball courts, sports fields. Active parks are noisier. In addition, Mr. Chavez said that “passive” parks are parks that don’t have those types of amenities; they are meant to be quieter, contemplative parks. If this definition is correct, we believe that with an active park on our border, neighbors would have to suffer from increased noise, lights, traffic, and risks of crime and safety incidents. We believe that that is an unfair burden on them, and certainly wasn’t something that they could have had foresight of when purchasing their homes.
- Moreover, we believe the proposed relocation of the sports fields will make them more accessible to the entire southside.
- Finally, we endorse Pulte’s approach and welcome their plan for low density high-quality housing and well maintained communities. We feel that their plan helps maintain Nava Adé residents’ quality of life and our housing values. Having to give up additional acreage to create an active park with 20 contiguous acres would likely render their plan no longer economically viable.

For the reasons cited above, we respectfully request that you approve the revisions to the Park and Open Space plan within Las Soleras that Pulte has proposed. Thank you.

**GURULE, GERALDINE A.**

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**From:** jeff davis <jcd4@comcast.net>  
**Sent:** Wednesday, December 10, 2014 7:43 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** nava ade - park

I am a home owner and cannot make the meeting on the 16<sup>th</sup>.  
I feel strongly against the park planned for Dancing Ground Road next to the community center.  
jd

Jeff Davis  
4263 Cactus Flower  
Santa Fe, NM 87507

*"When in doubt, free spin out."*  
Donna Howell

**GURULE, GERALDINE A.**

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**From:** queentic@aol.com  
**Sent:** Thursday, December 11, 2014 9:50 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Nava Ade

Greetings,

As a home owner on New Moon Circle, I am OPPOSED to having Pulte Building Company put houses in Nava Ade. The quality is poor and will affect my and our property values. Nava Ade is a special unique neighborhood.

Unfortunately I am out of town this holiday season to come to the meeting, so this is my view.

Plain and simple'  
Beth and Bob Tichacek

**GURULE, GERALDINE A.**

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**From:** Michael Pschorr <mpschorr@comcast.net>  
**Sent:** Friday, February 20, 2015 6:48 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte Development Proposal

Dear Mr. Thomas,

As owners of a house at 4395 Laughing Crow in Nava Ade just off Dancing Ground we are totally opposed to the Pulte proposal to build 300 homes adjoining Nava Ade. The strain such building will impose on the scarce water resources of Santa Fe, the huge traffic increase are just two factors that should rule out this massive building plan.

Sincerely,

Michael and Jeanne Pschorr  
466-4320

**GURULE, GERALDINE A.**

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**From:** pumpkinpatrick@q.com  
**Sent:** Tuesday, April 28, 2015 3:09 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte Development

Dear Mr. Thomas,

I live in the Nava Ade subdivision and am very concerned about the road proposal which is being made by Pulte Developers. The street called Dancing Ground is narrow, and we already have lots of congestion from the Monte del Sol School. Parking is allowed on Dancing Ground so when we have congestion from the school traffic, Dancing Ground becomes one lane.

When the residents of Nava Ade were asked to vote about the Monte del Sol School construction, we were promised that the use of Dancing Ground would be temporary and that a road would be built between Richards Avenue and the school. So far we are still waiting.

I don't know if Pulte Developers have done an "Environmental Impact" study or if it has been made public. If they have done one, when was it done? How can we gain access to it? There are lots of changes which have been taking place, and I wonder if these changes have been taken into account.

I would like to see a new "Environmental Impact" study done. One that includes a real assessment of their proposal in light of reality as it now is. It seems that they are asking special favors and are trying to bypass what will be good for our community in order to line their own pockets. Interestingly, any meetings regarding this matter are only announced a day or two before they are to take place. I am sure that attendance would be higher if we were given more notice.

I am very much opposed to what Pulte Developers are proposing to do, and will gladly do anything to stop them until they have fulfilled their obligation to provide another road. The negative impact to Nava Ade residents is unacceptable.

Many of the Nava Ade residents that I have spoken to are very upset about the use of Dancing Ground as access to the new development. Please advise us on what we can do and who to contact to stop Pulte Developers from going ahead with their development until they have resolved the road issues.

Yours Truly,

Nancy Patrick  
4141 Whispering Wing Rd  
Santa Fe, NM 87507  
Ph. 438-0329

## GURULE, GERALDINE A.

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**From:** Richard Lange <richinsf@comcast.net>  
**Sent:** Wednesday, April 22, 2015 8:46 AM  
**To:** THOMAS, ZACHARY E.; MARTINEZ, LISA D.; SMITH, GREGORY T.; CARTER, ROBERT P.  
**Cc:** Beverly Jimmerson; Diane Finley; Dorothy Seaton; Frank Nordstrum; Isabelle Sandoval; Kathy McGee; Kim Wiley; Mimi Hoffman; Becky Stamm; Jim Siebert  
**Subject:** Pulte ENN Note Inaccuracy

Dear City of Santa Fe Staff,

The Nava Adé HOA Board (NAHOA) and I had previously discussed addressing omissions and inaccuracies in the abbreviated ENN Meeting Notes (as presented in the Pulte Report, Appendix D) and when to do so. I recommended that we wait until Pulte's submission was complete, and we had all the facts, before addressing the matter in our HOA's official response to staff and city officials. Given the ongoing issues concerning the terms of Approval Condition #45, and what may be misunderstandings surrounding it, I think it is important to address ENN meeting notes regarding it.

To begin with, it is relevant to understand that at the ENN meeting I was introduced by NAHOA Vice President, Beverly Jimmerson, as speaking on behalf of the NAHOA Board.

On page 4 of 6 of the notes, it is inaccurately states that I objected to the "Loss of (the) 20-acre park." This is not true. And, regrettably, it wholly distorts our HOA's response to Pulte's proposal. Instead, I clearly stated that I objected to the loss of the **5.72-acre park** located along Nava Adé's southern border on the Annexation Plan, even explaining that it preceded the size and location of the proposed 20-acre park.

In the meeting, I also twice countered Steve Burn's statements that Condition #45 still required the 20-acre active park be designated as a single tract, and that it need not be located along our border. Per Planning Commission's amendment to that condition I explained that the 20-acre park could conditionally be located elsewhere, even parceled through out Las Soleras. These comments were not included in the abbreviated notes.

The inclusion of what I said, and its accuracy, is vitally important in that the NAHOA Board and I had thoroughly discussed this issue and decided on the position I expressed that evening. It therefore expresses the considered and unanimous preference of all board members. And, even though Mr. Burns and Robert Jessen, Head Lerner of Monte del Sol School, expressed an objection to the loss of the 20-acre park, I did not hear any one else support their objection.

Thank you in advance for your consideration,

Richard Lange

Richard Lange

505.424.1919

Consultant to the NAHOA Board

Chair, NAHOA Ad Hoc Committee on Las Soleras, 2001-2008

**GURULE, GERALDINE A.**

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**From:** Yahoo! <fredpearson@att.net>  
**Sent:** Monday, March 30, 2015 9:12 PM  
**To:** ROMERO, JOHN J; BAER, TAMARA; THOMAS, ZACHARY E.  
**Cc:** Kimberly Wiley; Richard Lange  
**Subject:** PulteGroup Proposed Road Plans in Las Soleras

As a retired transportation planner and traffic engineer with a 50-year professional consulting career in planning roadway systems for cities in New Mexico and throughout the western US, I have a strong professional interest in the proposed PulteGroup roadway plans for Las Soleras/Pulte. As a resident of Nava Adé for the past seven years, I also have a strong personal interest in seeing that our community is protected, as urban growth and development continues in Santa Fe.

One of my primary concerns is the proposed Pulte Phase 1 local street connection between Beckner Road and Governor Miles via Dancing Ground and/or Walking Rain. This local street connection has the potential to overwhelm the Nava Adé community local residential streets with heavy regional through traffic from I-25 and Cerrillos Road to Richards Avenue, before Beckner Road is completed to Richards Avenue. It is critical that Beckner Road be completed through to Richards Avenue before any direct or indirect street connections from Beckner Road to Dancing Ground or Walking Rain are built, because such local street connections have the potential to attract heavy through traffic, short-cutting between I-25, Cerrillos Road and Richards Avenue to the detriment of Nava Adé residents. As a City Arterial, Beckner Road will connect two Major Arterial Streets (Cerrillos Road and Richards Avenue) and will carry substantial volumes of regional traffic in the southern sector of Santa Fe. Any "temporary" shortcutting use of Dancing Ground and/or Walking Rain to reach Governor Miles and Richards Avenue would impose unacceptable heavy traffic impacts on the residents of the Nava Adé community.

The completion of Beckner Road to Richards Avenue cannot be postponed just to satisfy Las Soleras development phasing, thus transferring the adverse traffic impacts to Nava Adé residents. It is wrong to force heavy regional through traffic using a 45 MPH, four-lane arterial road onto a 25 MPH, two-lane local residential street as an "interim" measure for an unknown number of years until additional development may prompt the completion of Beckner Road to Richards Avenue.

If Beckner Road is not initially connected to Richards Avenue, shortcutting through traffic will overwhelm Dancing Ground between Beckner and Governor Miles, in spite of the minor "indirection" proposed in the Pulte and General Plan Road Alignments. For example, heavy regional through traffic presently floods Oshara Village local streets due to lack of a proper arterial street connection from Rabbit Road to Richards Avenue. Even with "indirect" local residential street connections, heavy regional through traffic still floods through Oshara Village on local streets not designed to handle the loads. The argument that Beckner Road "cannot" be constructed to Richards Avenue at this time is not a sufficient reason to avoid the public obligation to properly mitigate the potential traffic impacts that the Pulte Phase 1 Plan would impose on the Nava Adé community.

I am confident that the additional traffic forecasts being prepared for City of Santa Fe consideration will confirm the potential adverse impacts of shortcutting regional through traffic imposed on local Nava Adé residential streets. The solution is clear – the City of Santa Fe must require the initial completion of Beckner Road from Cerrillos Road to Richards Avenue to handle heavy regional through traffic demands, without sacrificing Nava Adé residents.

I look forward to City staff review of these concerns, and to City reassessment of the proposed local street connections through Nava Adé, which threaten the safety and well being of Nava Adé residents, as well as imposing unnecessary obstacles and indirection on important regional traffic movements to SFCC and many community destinations. Please let me know if I can provide any further information or assistance.

Fred Pearson  
4121 New Moon Circle  
Santa Fe, New Mexico 87507

**GURULE, GERALDINE A.**

---

**From:** Joe Edwin Jones DDS <jejonesdds1@gmail.com>  
**Sent:** Wednesday, February 18, 2015 1:13 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Re: Las Soleras and the Pulte Development Plan

Mr. Thomas,

I am a resident of the Nava Ade' subdivision, and am concerned about increased traffic and congestion that is likely to occur in my neighborhood due to the Pulte residential development in Las Soleras. There is already a high amount of traffic on Dancing Ground and Governor Miles, especially in the mornings and afternoons due the fact that the only access to the Monte del Sol Charter School is Governor Miles, Dancing Ground, and Walking Rain. I am concerned that this development will increase traffic high above present levels, which already provides some amount of gridlock during school traffic hours.

Therefore, I am writing to you to express my support for Pulte's proposed delay in extending Dancing Ground until Beckner is extended to Richards.

Best Regards,

Joe Edwin Jones DDS  
[jejonesdds1@gmail.com](mailto:jejonesdds1@gmail.com)

**GURULE, GERALDINE A.**

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**From:** Ellen Buselli <ebuselli@aol.com>  
**Sent:** Wednesday, February 18, 2015 4:17 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Re: Pulte Plans - Las Soleras  
**Attachments:** To\_Zach\_Thomas.doc\_Feb\_18th\_2015.doc

To: Mr. Zach Thomas. Land Use Department, Senior Planner, City of Santa Fe:

I am sending in again today my concerns for the Las Soleras Pulte Plans and the adverse effect the development plans will have on the Nave Ade community. See my previous statement attached from last December along with updated comments for February 18, 2015. Please include all of my comments in the attached statement for the public record.. The new changes that the Pulte Development Plans propose since the Dec 16th, 2014 meeting do not address nor solve these issues in a satisfactory manner.

Please reconsider these grave concerns on these main issues to help maintain the quiet and safe neighborhood that we have had and maintained in Nave Ade and the quality of our life in Nave Ade.  
Thank you again for your time, and please keep me posted on all information concerning these issues

Sincerely,  
Ellen Buselli  
Nava Ade Homeowner

—Original Message—

**From:** THOMAS, ZACHARY E. <[zethomas@ci.santa-fe.nm.us](mailto:zethomas@ci.santa-fe.nm.us)>  
**To:** Ellen Buselli <[ebuselli@aol.com](mailto:ebuselli@aol.com)>  
**Sent:** Mon, Dec 15, 2014 1:45 pm  
**Subject:** RE: ENN Meeting Dec 16th - Pulte Plans - Las Soleras

Thank you... Your revised PDF has been reviewed and saved.

Zach Thomas  
Senior Planner  
Current Planning Division  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909  
505-955-6656

**From:** Ellen Buselli [<mailto:ebuselli@aol.com>]  
**Sent:** Monday, December 15, 2014 11:40 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Re: ENN Meeting Dec 16th - Pulte Plans - Las Soleras

To Mr. Thomas:

Thank you for pointing that out....attached is my statement with today's date, no email address for the public record,,,  
Thanks again,  
Ellen Buselli

-----Original Message-----

From: THOMAS, ZACHARY E. <[zethomas@ci.santa-fe.nm.us](mailto:zethomas@ci.santa-fe.nm.us)>  
To: Ellen Buselli <[ebuselli@aol.com](mailto:ebuselli@aol.com)>  
Sent: Mon, Dec 15, 2014 1:30 pm  
Subject: RE: ENN Meeting Dec 16th - Pulte Plans - Las Soleras

Ms. Buselli,

If you do not want your email address available to the public it would be best to resend the attached PDF letter without your email address at the bottom. Otherwise, there is no way to include your comments in the public record without your email address also being available.

Thanks,

Zach Thomas  
Senior Planner  
Current Planning Division  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909  
505-955-6656

**From:** Ellen Buselli [<mailto:ebuselli@aol.com>]  
**Sent:** Monday, December 15, 2014 11:24 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Re: ENN Meeting Dec 16th - Pulte Plans - Las Soleras

Thank you...  
Please note that my email address is private, not for public use.  
Thank you,  
Ellen Buselli

-----Original Message-----

From: THOMAS, ZACHARY E. <[zethomas@ci.santa-fe.nm.us](mailto:zethomas@ci.santa-fe.nm.us)>  
To: Ellen Buselli <[ebuselli@aol.com](mailto:ebuselli@aol.com)>  
Sent: Mon, Dec 15, 2014 1:12 pm  
Subject: RE: ENN Meeting Dec 16th - Pulte Plans - Las Soleras

Ms. Buselli,

Thank you, your comments will be included in the public record.

Zach Thomas  
Senior Planner  
Current Planning Division  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909  
505-955-6656

**From:** Ellen Buselli [<mailto:ebuselli@aol.com>]  
**Sent:** Monday, December 15, 2014 11:09 AM  
**To:** THOMAS, ZACHARY E.  
**Cc:** [ebuselli@aol.com](mailto:ebuselli@aol.com)  
**Subject:** ENN Meeting Dec 16th - Pulte Plans - Las Soleras

To Mr. Zack Thomas, Land Use Senior Planner - City of Santa Fe Land Use Department:

I am a concerned homeowner in the Nava Ade community.

I am not able to attend the ENN: Pulte Homes Residential Subdivision meeting on December 16th, 2014 at the Genoveva Chavez Community Center.

In lieu of this, I am attaching a statement that expresses my concerns.

Please keep me informed of the the land use plans for this area.

I want to be kept informed on all of the updates and changes, and be given an opportunity to express my concerns at every opportunity.

I appreciate your attention to this matter.

Thank you,  
Ellen Buselli

December 15, 2014

To: Zach Thomas, Land Use Senior Planner, City of Santa Fe Land Use Department

Re: Development at LAS SOLERAS – south of Nava Ade, Lots 14 and 15

To Whom It May Concern:

I am a homeowner in NAVA ADE on Dancing Ground Rd.

I am terrified by what will happen to the quality of the life in the NAVA ADE community with the PULTE DEVELOPMENT PLAN 11/18/2014. I bought a home in NAVA ADE for a quiet, peaceful, safe environment with minimal traffic. This new plan threatens to destroy this. Dancing Ground Rd is not designed to be a primary road. Previous plans from 2003, 2008, 2010 were to have made Dancing Ground Rd veer off to the side and bend and connect to a rail runner road and not be a major artery for the area. The previous approved plans would help to minimize the on-through traffic and help to maintain and preserve the quality of life in the small NAVA ADE community. It is unacceptable to allow Dancing Ground to become a straight artery going directly from Governor Miles to Beckner Road as shown in the PULTE PLAN 11/18/2014. This will destroy the NAVA ADE community with constant traffic and dangerous conditions. The road is not designed for this type of use and the Nava Ade community is not designed for this type of stress.

In addition, it is completely unacceptable to use Dancing Ground Rd as the access road to the Los Soleras development while it is being built. This is frightening, and terrifying and unacceptable. I fear for my safety, and for the safety of others in the community. This will be disruptive to the Nava Ade community and will cause stress and safety issues to the Nave Ade residents. Dancing Ground is not designed for the burden of this type of traffic and use. Other alternative access roads from Beckner Road and from Richards Rd need to be made to be used as the primary access to Las Soleras development.

The PULTE PLAN 11/18/2014 also destroys and dismisses the approved previous plans that were to build a road directly from Beckner Rd to the Monte Del Sol School which is greatly needed. Currently, the only way to get to the school by car is through the Nave Ade's small community roads causing bumper to bumper traffic at certain times during the day, and additional traffic throughout the day and weekends. The PULTE PLAN 11/18/2014 does nothing to solve this issue and only exacerbates it by having Walking Rain circle back into Dancing Ground Rd. The PULTE PLAN eliminates the very important alternative direct road from Beckner Rd to the school– as approved and planned in the previous 2010 PLAN. This is unacceptable and the direct road from Beckner cannot be eliminated. A direct road to Monte Del Sol School from Beckner Rd or Richards Rd is absolutely needed to alleviate and minimize the terrible strain the Nava Ade community has suffered from high traffic on our small community roads via Dancing Ground/Walking Rain Roads as the only way to currently get to the school.

Also, in the approved earlier 2010 PLAN, parks and open spaces were well designed and placed to maintain the integrity of the quality of the area, and they blended well with the Nave Ade plan– a community with open spaces, parks, walking trails. The original plans had large open park spaces within the Las Soleras development as was discussed and agreed upon by the developers, city, and the Nava Ade Home Owners Association. These open spaces are extremely important to the communities. The 2008 plan reduced this to a 5.72 acre open space that buffered the Nava Ade community between the border of Nava Ade and Los Soleras on Lot 15. This has also been eliminated in the PULTE PLAN

11/18/2014 and instead the dense 206 homes of the Las Soleras development are pitted extremely close to the Nave Ade community without any open space destroying the quality of life in the area. This is unacceptable and not what had been agreed upon in earlier plans.

In summary, I am opposed to the PULTE DEVELOPMENT Road and Layout PLAN 11/18/2014 for Las Soleras Development south of Nava Ade Lots 14 and 15. The plan will negatively affect the Nave Ade community. It also directly dismisses the agreements made by the developers, the city, and Nava Ade Home Owners Association in earlier PLANS that kept the level of traffic on Dancing Ground Rd in the Nave Ade community at a minimum by keeping Dancing Ground as a minor road and not a major artery, that kept open spaces and parks that are important to the quality of life in the overall community, and also allowed for direct access to the Monte Del Sol School from Beckner Road (and from Richards Road to Beckner Road) alleviating the high traffic burdens now experienced on Dancing Ground Rd and Walking Rain Rd in Nava Ade.

Please consider all of these very grave issues from this very concerned and terrified community member. Please hear my voice. We all want to maintain and improve the quality of life in our beautiful Santa Fe, not destroy it. Please help to keep our NAVA ADE community safe, quite, beautiful, and well designed.

Thank you,

Ellen Buselli

NAVE ADE home owner

December 15, 2014

**GURULE, GERALDINE A.**

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**From:** Kimberly Wiley <kswiley@hotmail.com>  
**Sent:** Tuesday, December 16, 2014 3:27 PM  
**To:** THOMAS, ZACHARY E.  
**Cc:** DIMAS, BILL; TRUJILLO, RONALD S.  
**Subject:** Submission for Public Record on Las Soleras - Tracts 14 and 15

Dear Mr. Thomas,

My name is Kimberly Wiley. I reside at 4263 River Song Lane in the Nava Adé community. I am submitting the following for the public record, related to the ENN for the residential development of Tracts 14 and 15 in Las Soleras.

My husband and I have lived in Nava Adé since July 2007, when we purchased our home, built during the last phase of this development. I am currently the President of the Nava Adé Homeowners Association (NAHOA), and in that position, fully support the statement from the NAHOA Board and urge you to give it your every consideration. However, I also wanted to submit a personal statement as a homeowner and full-time resident.

Although the original 1999 EZA recommendations designated Governor Miles as a four-lane thoroughfare, connecting Richards to Cerrillos, neighborhood objections resulted in its current design as a two-lane thoroughfare. However, as such, Governor Miles has proven to be both hazardous and detrimental to the wellbeing of our community. During the seven years that I have lived here, I've had growing dismay over the increase in traffic on Governor Miles. When we first moved here, road noise and congestion were minimal. With the build-out of Villa Sonata, there was a natural increase in traffic, but the current levels are not primarily residential. There is a lot of "cut through" traffic, from people seeking to get to/from Cerrillos and Richards, and they opt for Governor Miles, rather than Rodeo, because on that stretch of Governor Miles, there are no traffic lights, nor stop signs, and ineffective speed humps. I make it a practice when entering Governor Miles from Richards, to notice how many cars ahead of me turn into Villa Sonata or Nava Adé. It is typically fewer than 40% of vehicles that turn into Nava Adé or Villa Sonata – most vehicles continue through to Cerrillos. And it's not just passenger cars, but also commercial vehicles that use Governor Miles to "cut through." In addition, many vehicles do not observe the posted 30 mph speed limit, nor do they slow for the speed humps. They don't have to, as the humps are gently sloped and most vehicles just sail over them.

Crossing from north Nava Adé to south Nava Adé (or vice versa) requires crossing Governor Miles and is perilous, as there is no crosswalk, nor a forced stop, (via a stop sign or traffic light). There are schoolchildren who cross that street each school day, morning and afternoon, on their way to and from Monte del Sol Charter School, and I dread the day a child is hit and hurt, or worse, killed.

South Dancing Ground is even more heavily burdened than Governor Miles during school starting and closing times. Each school day afternoon it is complete gridlock, as the traffic stretches along Dancing Ground from Governor Miles to Walking Rain, and up the length of Walking Rain to the school. It is impossible for residents, who live on Dancing Ground, Walking Rain, or on streets for which Dancing Ground or Walking Rain is their only ingress/egress, to leave or get into their homes. Earlier this year, there was a school lockdown, when the branch office of First National Bank of Santa Fe on Governor Miles was robbed. Imagine if that had been the type of emergency requiring evacuation?! Schoolchildren and personnel would not be able to get out. Residents would not be able to get out. First responders would not be able to get in.... a very grim image, indeed!

As you can tell from my comments above, and I could cite many more examples of the congestion, adding more residential traffic to Governor Miles and Dancing Ground is not tenable. While there are many favorable and commendable aspects to Pulte's plan for development of Tracts 14 and 15, unless Beckner is extended to Richards, and Walking Rain is extended to connect to Beckner (for school traffic), as part of phase 1, Nava Adé will bear additional traffic generated by the new residents of Las Soleras, and yet obtain no relief from the traffic congestion on Governor Miles, Dancing Ground, and Walking Rain. Our quality of life and safety will be gravely and negatively impacted.

I am also an avid walker and user of our trail system. The trails and open spaces were one of the primary attractions for my husband and me, in purchasing our home. I understand that the open space in Tract 15 (5.72 acres), as shown on the Master Plan, is proposed to now be part of the residential development, and "park space" will be in the interior. These are not equivalent! While not closed to non-residents, this interior park, in the "family homes" section of the Pulte development, will be much less accessible to Nava Adé residents; we will lose the enjoyment of wildlife when their habitat is destroyed; and we will lose a buffer between our community and Las Soleras. I would also like to see on the plan, not just receive verbal assurances, that trail continuity will be preserved through the new communities Pulte has proposed and throughout Las Soleras.

I understand that the project has to be financially attractive for Pulte to proceed, but it should not negatively impact the surrounding community – the costs and concessions for going forward should not all be on our side. I would like to be able to unreservedly welcome our new neighbors, but unless proactive measures are taken to:

- reduce traffic,
- promote safety,
- preserve open space, and
- protect and enhance our recreational trail system,

the dismay and concern I feel about this proposed development will far outweigh the anticipation and welcoming of a new community and neighbors to our south. And, I expect that my sentiments are shared by a significant majority, if not all, of the other 464 households in Nava Adé.

I believe that it is imperative that the City enforce the Master Plan and Conditions of Approval. I also believe that it can be a win-win situation for all stakeholders: Las Soleras developers, Pulte, Nava Adé, and the City of Santa Fe, through prudent and balanced consideration of all interests and concerns.

Thank you for your consideration of my perspective.

Sincerely,

Kimberly S. Wiley

4263 River Song Lane

Santa Fe, NM 87507

cc: Councilor Bill Dimas

Councilor Ron Trujillo

**City of Santa Fe, New Mexico**

**Planning Commission**

**Exhibit F**

**Bound Report Packet Submitted by the  
Applicant**

# **City of Santa Fe, New Mexico**

## **Planning Commission**

### **Exhibit E4**

**Public Comments Submitted by Nava Ade  
Homeowners Association**

**Las Soleras**

**Pulte History and Strategy  
Market Intelligence**

**May 2015**



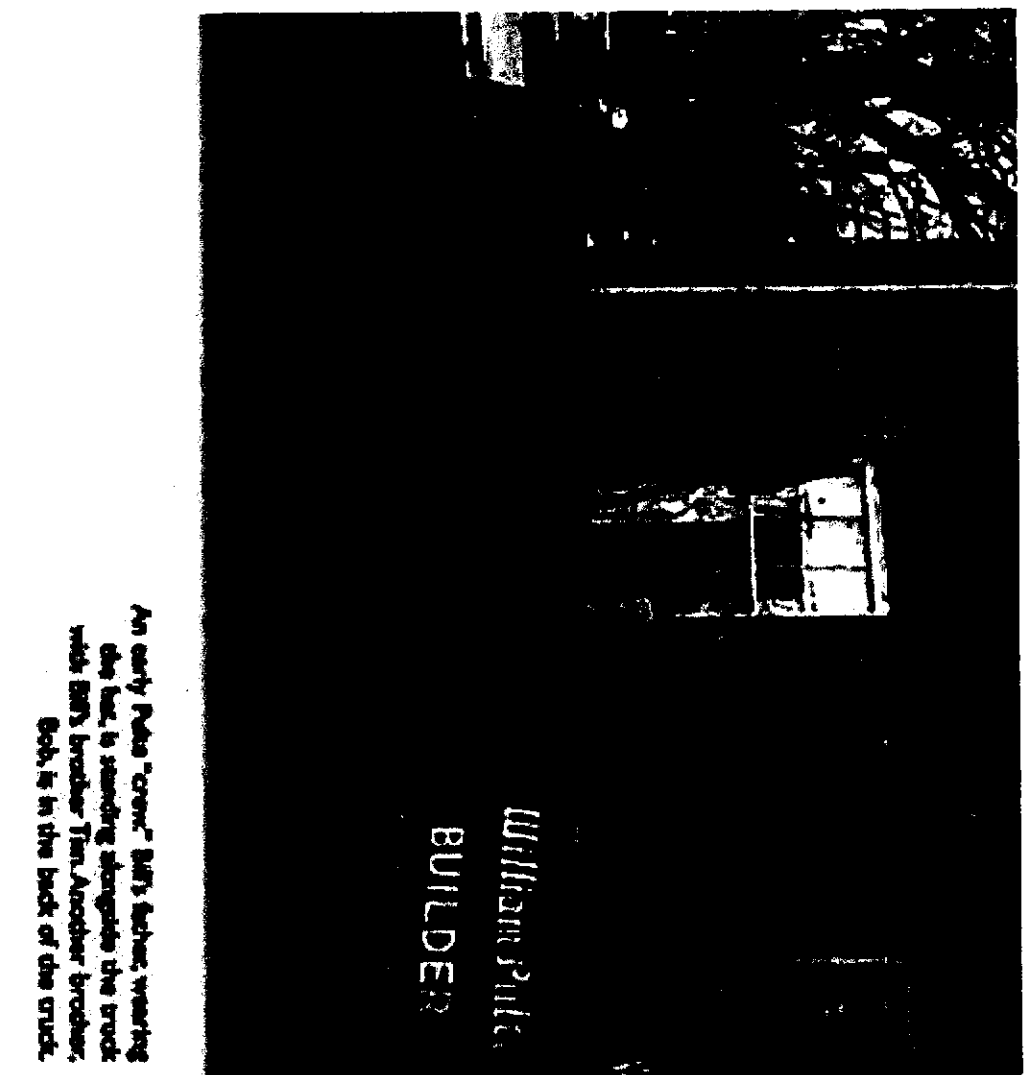
*Exhibit "3"*

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- **Realtor Feedback**
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- **NM Executions**
- **Conclusion**

# Pulte History

“We build a home, on a lot, in a community”. – Bill Pulte



An early Pulte "crew" Bill's father, wearing the hat, is standing alongside the truck with Bill's brother Tim. Another brother, Bob, is in the back of the truck.

# Pulte History

## PulteGroup

## History of PulteGroup, Inc.

- 1950 ~~1950 Pulte is founded as First Housing, Inc. Detroit and enters in line of 1954, 1959~~
- 1950s Builds custom homes in metropolitan Detroit
- 1956 Incorporation as William J. Pulte, Inc.
- 1959 Bill Pulte introduces plans for Pulte's first subdivision, Concord Green, in Bloomfield Township, Michigan; homes sell for \$29,000
- 1960 Enters Washington, D.C. market
- 1961 Enters Chicago market
- 1968 Enters Atlanta market
- 1969 ~~The company goes public as Pulte Home Corporation, with an initial offering of 200,000 shares of common stock; acquires American Builders, Inc., a Colorado Springs-based homebuilder that serves the first-time affordable housing market~~
- 1970s Pulte introduces a number of cost-efficient, innovative designs with special appeal for the baby boomer market, including the Quadrominium and the 14-foot wide town house; Pulte firmly established in 10 major markets: Detroit, Washington, D.C., Chicago, Atlanta, Colorado Springs, Denver, Cleveland, Harrisburg, Baltimore and Puerto Rico
- 1972 The company's stock begins trading on the AMEX under the symbol PHM
- 1972 Pulte establishes ICM Mortgage Corporation to offer convenient financing and competitive mortgage rates to its homebuyers
- 1973 Acquires builder in Puerto Rico
- 1977 The company declares its first cash dividend; the company's board of directors also authorizes its first stock split in the form of three-for-two stock distribution; Enters Phoenix market
- 1978 Enters Texas
- 1979 A record 4,714 homes are sold in 1979 with revenues of \$294 million
- 1980s Homes are sold for \$50,000 to \$600,000 in 17 markets in 11 states
- 1980 Establishes "Pulte University" to train entry-level construction personnel
- 1983 The stock of the parent company, PHM corporation, begins trading on the NYSE
- 1985 Robert K. Burgess becomes Pulte's President and Chief Operating Officer and launches the Pulte Quality Leadership program
- 1986 Pulte enters North Carolina
- 1988 Pulte acquires five Texas-based thrift institutions, which subsequently merge to form First Heights Bank, a federal savings bank based in Houston
- 1990s Home prices range from under \$100,000 to more than \$1 million
- 1992 PHM Corporation's name changes to Pulte Corporation; enters Las Vegas and Cleveland markets

# Pulte History

- 1993** Robert K. Burgess becomes Chairman and Chief Executive Officer. Pulte launches the Pulte Protection Plan, a 10-year insured warranty package offered to all Pulte homeowners. The company enters Wilmington, Del. and Columbia, S.C.
- 1994** Pulte enters the growing "active adult" market for buyers age 55 years and older with communities in Arizona, Florida, Michigan, New Jersey and Virginia; joint ventures are undertaken in Mexico
- 1995** *Pulte Corporation becomes the largest homebuilder in the United States*
- 1996** Company celebrates 40th anniversary of its incorporation; initiates joint venture with General Motors to provide homes in Mexico
- 1997** *Pulte is recognized as "America's Best Builder" by the National Association of Home Builders and Builders Magazine*. Enters central New Jersey, Greenville, S.C., Grand Rapids, Mich., Sarasota and Melbourne, Fla., and Puerto Rico
- 1998** Pulte acquires Radnor Homes and Divosta Homes; signs exclusive agreement with General Electric to supply all Pulte homes with its branded home appliances
- 1999** Pulte becomes a Fortune 500 company and sells a record 26,622 homes; the National Council on Seniors Housing selects Springfield at Whitney Oaks, an active adult community in northern California, as the best seniors' housing development in the nation
- 2000** Pulte observes its 50th anniversary with a presence in 41 markets and 25 states, as well as operations in Mexico and Puerto Rico; Expands into Argentina; Chicago and Las Vegas operations rank highest in the annual J.D. Power and Associates New-Home Builder Customer Satisfaction Study; a national brand development program launches with new corporate logo; Pulte is a parade float-sponsor of the Macy's Thanksgiving Day Parade; Pulte builds a record 27,781 homes and generates \$4.2 billion in revenues, marking 30 consecutive years of profitability
- 2001** Pulte Corporation changes its name to Pulte Homes, Inc.; Pulte Homes is ranked as the Best-Performing Company in Housing and Real Estate by Business Week magazine; *Pulte receives the 2001 National Award for exceptional quality in construction and outstanding customer service to its new homeowners*; Tucson market is awarded the 2001 Energy Value Housing Award from the National Association of Home Builders Research Center; *Pulte Homes completes merger with Del Webb Corporation to create the nation's largest homebuilder*
- 2002** *Pulte Homes receives the Starline Award for the second consecutive year*; Business Week magazine names Pulte to its list of Top 50 Performing Companies; Charlotte, Houston, Las Vegas, Minneapolis-St. Paul, Phoenix, San Francisco Bay Area and Southern California markets are honored by J.D. Power and Associates; Pulte Homes, Inc. is listed on the Dow Jones Sustainability Index; Money magazine lists Pulte Homes as a 30-year Super Stock
- 2003** On July 1, Richard J. Drigas, Jr., becomes President and Chief Executive Officer of Pulte Homes, Inc., replacing Mark J. O'Brien. *Pulte Homes receives Starline Award for third consecutive year*; Pulte operations in 12 markets are honored by J.D. Power and Associates as highest-ranking in customer satisfaction; Business Week magazine names Pulte to its list of Top 50 Best Performing companies
- 2004** *J.D. Power and Associates names Pulte Homes the inaugural recipient of its Platinum Award for customer satisfaction among America's largest home building companies*; Pulte divisions rank highest in 14 markets; No. 2 in nine markets and No. 3 in six markets; Pulte is named winner of the inaugural National Housing Quality (NHQ) Gold Award, patterned after the Malcolm Baldrige National Quality Award, by the NABH Research Center, a subsidiary of the National Association of Home Builders (NAHB); Fortune magazine names Pulte Homes one of the 100 fastest-growing companies in the United States

# Pulte History

- 2005** Pulse delivers a record 45,630 homes and generates consolidated revenues of \$14.7 billion, focuses on the expansion of domestic homebuilding operations following the sale of Pulse's Arizona and Mexico operations. **Company ranked the highest among all top 100 homebuilders in the J.D. Power and Associates 2005 Customer Satisfaction Study.** Pulse's record since its operations first appeared in the study in 2000: No. 1 90 times; No. 2 54 times; No. 3 38 times for a total of 182 top-3 finishes.
- 2006** Pulse ranks #147 on the 2006 Fortune 500 list - highest ranked homebuilder on the list -- and debuts on the Fortune Global 500 list. **Pulse ranked the highest among all U.S. Builders and Manufacturers of Homebuilding Products in the 2006 J.D. Power and Associates Customer Satisfaction Study.** Pulse ranked the highest among all top 100 homebuilders in the J.D. Power and Associates 2006 Customer Satisfaction Study. Pulse is listed on InformationWeek magazine's top 100 list; the company delivers 41,487 homes with consolidated revenues of \$14.3 billion, and the Del Webb brand expands with new community openings in San Antonio, Indianapolis, Atlanta and Nashville.
- 2007** **Pulse becomes the first U.S. homebuilder to be named** the company ranks #170 on the 2007 Fortune 500 list; receives the highest ranking in 11 markets and top-three ranking in 26 of 34 markets studied in the annual J.D. Power and Associates New-Home Builder Customer Satisfaction Study
- 2008** **Pulse Homebuilding operations rank highest in customer satisfaction in 11 U.S. markets, and rank in the top three in 20 of 33 markets studied in the annual J.D. Power and Associates New-Home Builder Customer Satisfaction Study.** Pulse's record since its operations first appeared in the study in 2000: No. 1 90 times; No. 2 54 times; No. 3 38 times for a total of 182 top-3 finishes.
- 2009** **Pulse is recognized by the U.S. Department of Energy and BAEF for outstanding achievement in the DOE Builders Challenge program, a voluntary energy savings program with a goal of constructing more energy efficient homes.** **Pulse Homebuilding partners with Carrier Corporation to launch America's largest homebuilding company, covering 39 markets, 29 states and the District of Columbia.**
- 2010** Pulse Homes, Inc. changes its name to PulseGroup, Inc. PulseGroup marks its 60th anniversary of building homes and delivering the American dream of home ownership. Bill Pulse announces his retirement from the company and its board of directors. **Pulse-Tandem Legacy Fund, a newly-created revolving fund currently valued at \$2.5 million, aims to preserve, and protect the natural beauty of Pulse Homes and Coastal properties by creating a fund to support the world's most national ecological in 2010.** Pulse operations exist in 67 markets, 29 states and the District of Columbia.
- 2011** Del Webb grand opens its newest community, Del Webb Sweetgrass near Houston, Texas. **Pulse and the Homebuilding Industry Foundation (HBF) team up to support the use of home energy efficiency labels.** The company introduces iPad application making it possible to capture consumer choices to "build" a home electronically from any location. Pulse opens its first community in the city of Portland, Ore. **Spokane and select communities, markets and neighborhoods receive Pulse Home System, Pulse introduces Life-Touching Initiative, Del Webb launches mobile app to improve retirement planning. Del Webb operates.**
- 2012** PulseGroup was the nation's largest builder by revenue and the second largest builder by unit volume. To further capture the first-time homebuyer. Centers introduces the Independence Series; homes that are priced to compete with the all-in monthly payments of rents. Del Webb joins forces with Road Scholar to provide residents with opportunities for educational travel; the stock of this Fortune 500 company was the top performer in the S&P 500 for 2012.
- 2013** PulseGroup delivered 17,776 homes with home sale revenues of \$5.4 billion in 2013. **Executive Shift by HBF and a national program for the construction and donation of savings that benefit the community, personnel who have been injured during their time of serving the Company announces the relocation of its corporate offices from Bloomfield Hills, Mich. to Atlanta, Georgia in 2014.**

# Pulte Group Brands



# Pulte Group - Brand Descriptions / Targets

Centex

## Key Selling Points

- Smart design with you in mind.
- Great value now. Lasting value over time.
- Choices that make homebuying simple and enjoyable.

Target Consumer Groups

Entry-Level Buyers

Pulte

## Key Selling Points

- Located in preferred communities.
- Life-Tested Home Designs™.
- Attention to detail.
- Built with pride. Backed by experience.

Target Consumer Groups

Move-Up Buyers

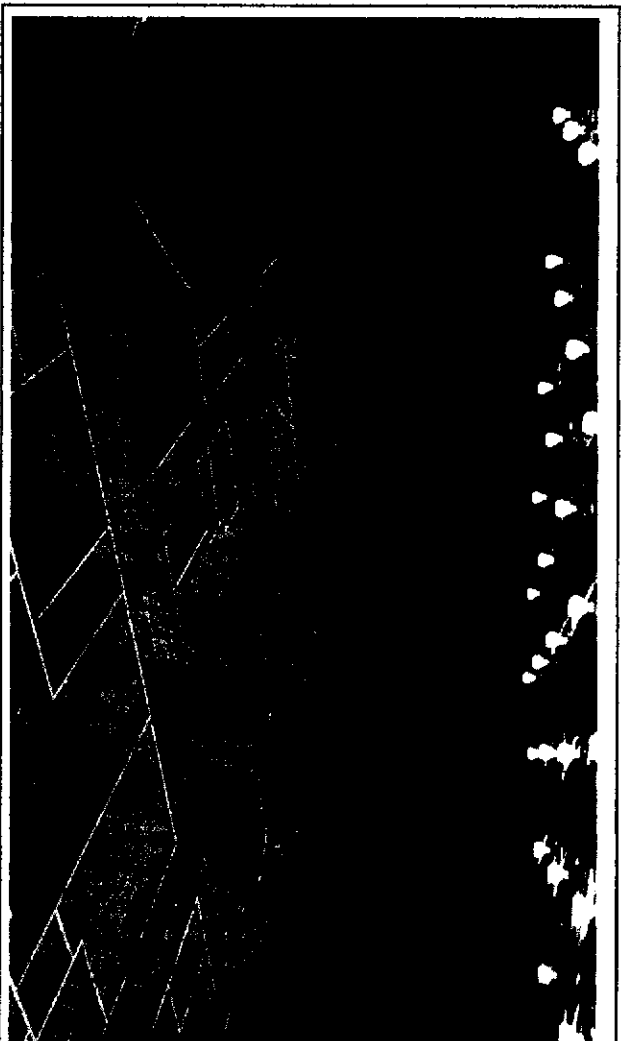
## Key Selling Points

- Live Life to the Fullest
- Enjoy affordable living with homes of enduring quality.
- Engage in a lifestyle guided by health and wellness.
- Join a community connected by personal fulfillment.
- Continue 50 years of having serious fun.

Target Consumer Groups

Active Adults

# Consumer Inspired Designs



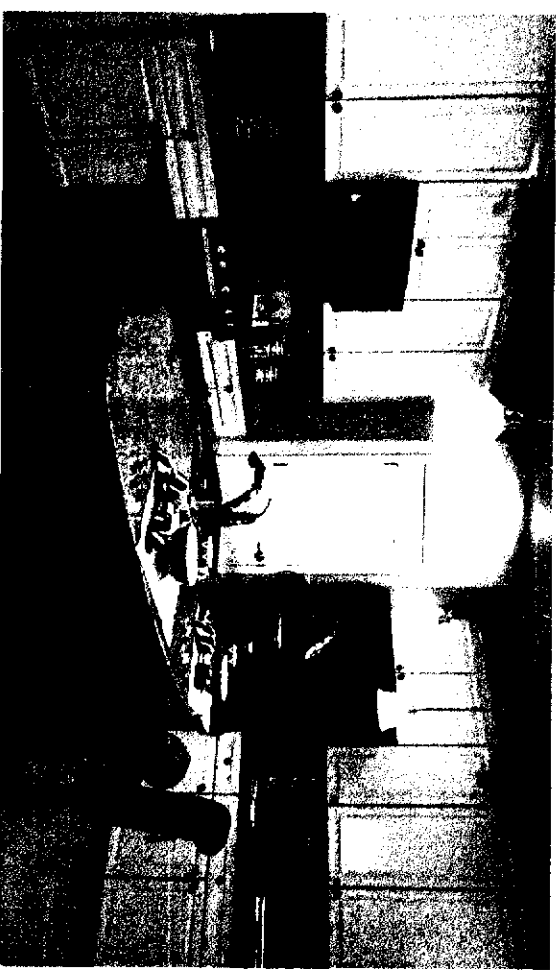
- We actively solicit input from the people who matter most – our homebuyers
  - 20-24 people provide insight into one floor plan
  - Each consumer spends 2.5 hours evaluating product

**Each new floor plan will have received 40 hours of direct consumer feedback**

# Consumer Inspired Designs – Move up Family buyers

As a result, consumer inspired designs and options such as:

- Everyday Entries
- Pulte Planning Centers
- Open kitchen / great rooms
- Family Series:
  - 1,776 sqft – 3,123 sqft
  - 2.5 / 3T Garages
- Open Great Rooms / Kitchens



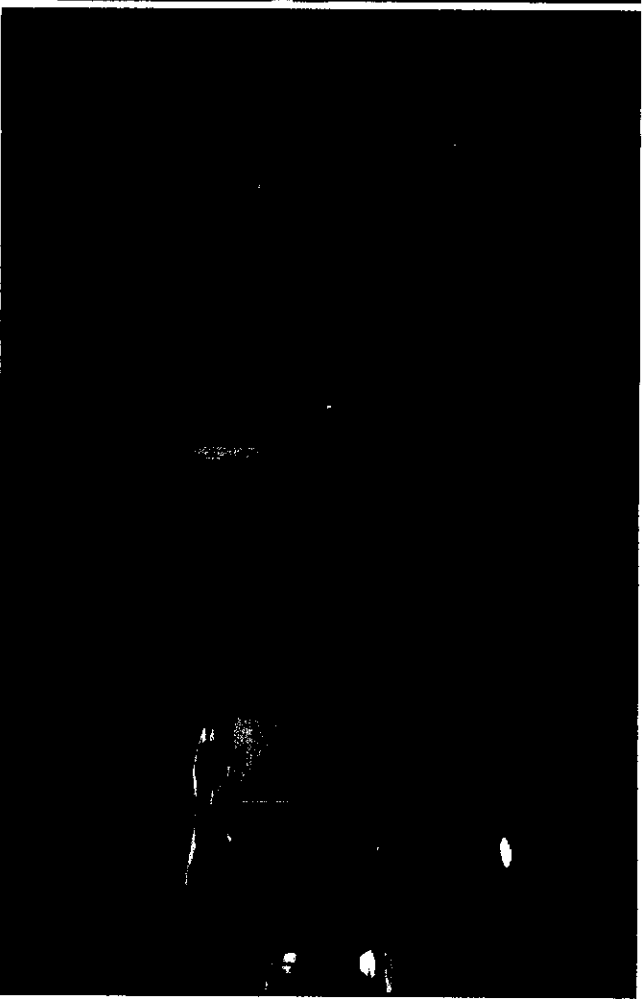
# Consumer Inspired Designs – 55+ buyers

As a result, consumer inspired designs and options such as:

- Spa like Master Bath
- Indoor and Outdoor living rooms
- Curved countertops
- 55+ Series:
  - 2,023 sqft – 2,529 sqft
  - Covered Patios / Courtyards
  - Abundant natural light



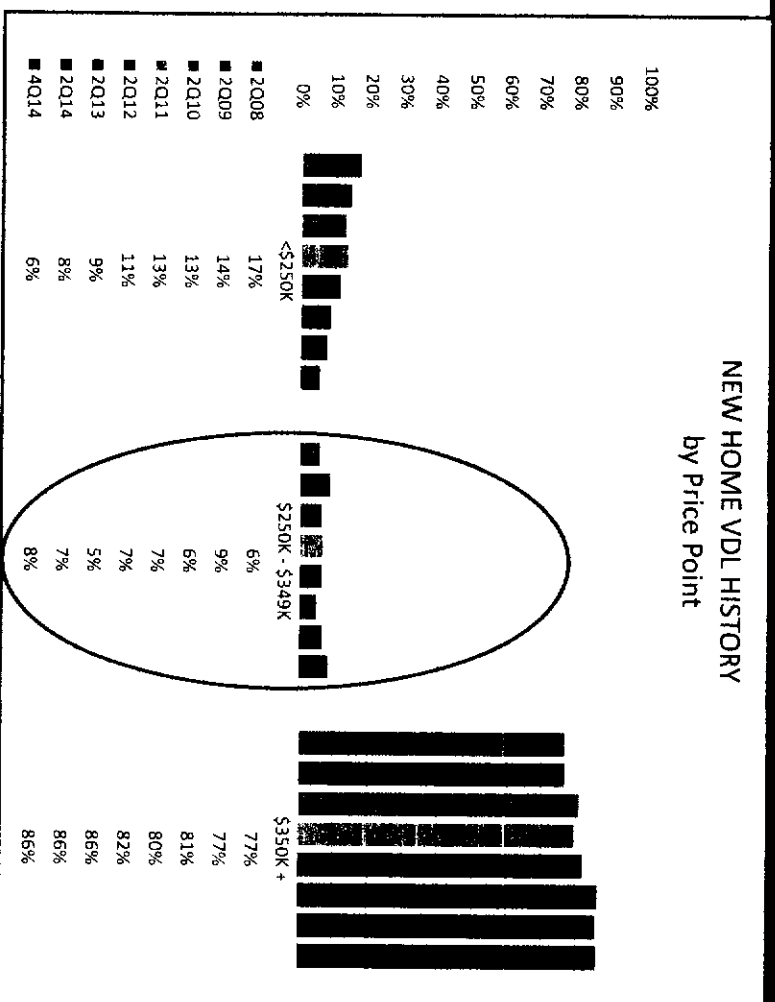
PulteGroup



# Demographics & Positioning –Why this site?

- Location driven by consumer desirability.
- The site is centrally located in the MSA and offers close proximity to medical and educational facilities.
- Las Soleras presents an opportunity to develop a true master plan community concept with consumer inspired designs at an affordable price point.
- The site is positioned along the next largest major growth corridor in Santa Fe, affording convenient access off I-25 as well as Cerrillos Road, one of two major access roads in Santa Fe.
- The project is ideally located to serve 55+ and family consumers given its proximity to shopping, medical, education, entertainment, and downtown (Plaza).

# Market Supply / Demand Las Soleras – Santa Fe New Home lot supply by price segment



- Lot supply is dominated by higher end custom lots in affluent submarkets
- <\$250K continues to decrease, only at 6% from 17%
- \$250K - \$350K as always had limited inventory, and continues to be limited in spite of demand
- Las Soleras will provide the market with more inventory at the price point these buyers appreciate without compromising product needs given lack of quality new home supply

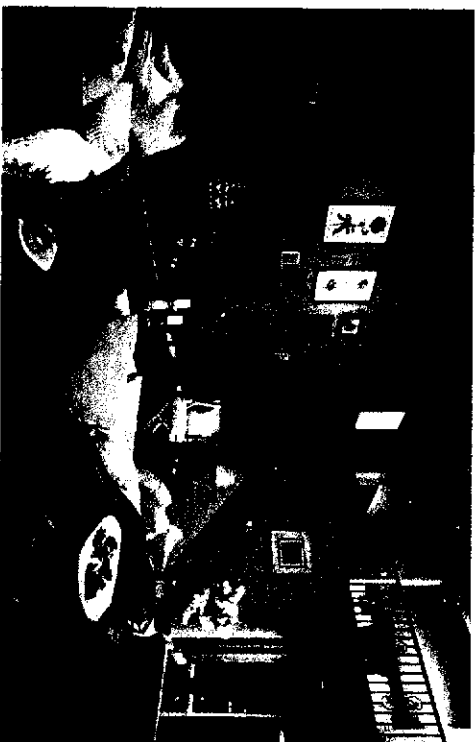
# NM executions

- Pulte strives to execute thoughtful and sophisticated product and community concepts buyers appreciate at a price point they desire
- As a result, Pulte is positioned in 50% of the top 10 performing communities in the MSA
- Additionally, we have found that Pulte communities receive a premium, receiving nearly twice the pace and 16% higher price than competition
- Again, family and 55+ within this price point are expected to grow significantly and Las Soleras will execute a product and community concepts currently absent in the market and limited to custom / high-end communities (LC)

# NM executions



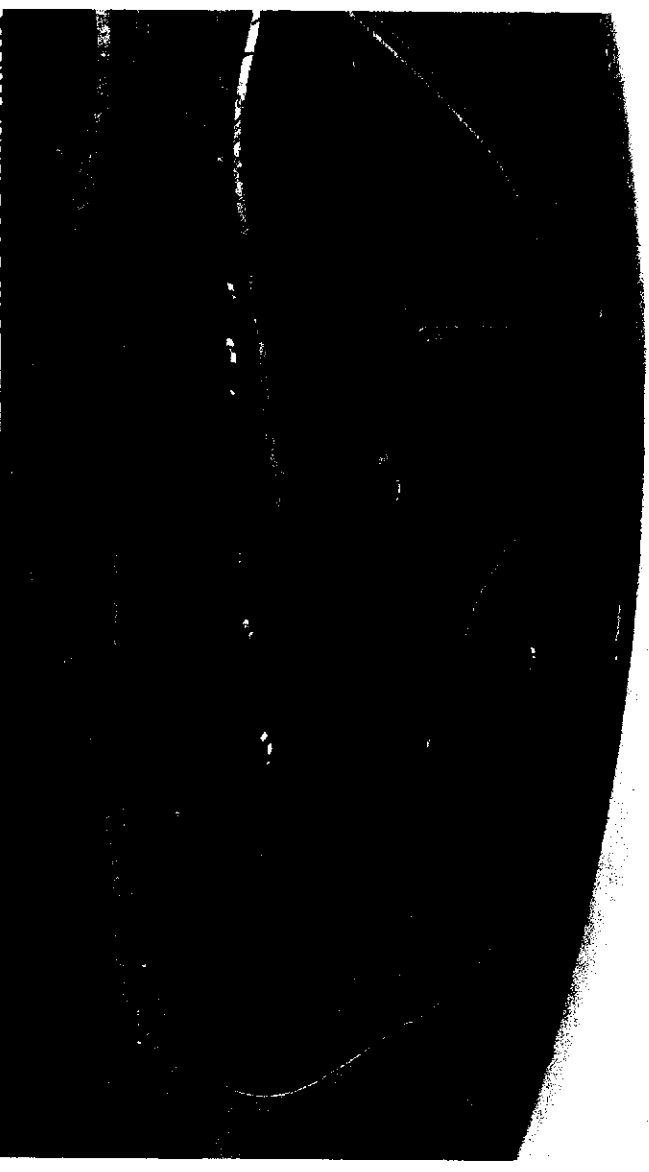
## Pulte Homes launches Mirehaven subdivision



This is the interior of one of eight home models in Pulte Homes' Mirehaven community. The just-opened West Side development is north of the 98th Street and I-40 interchange. (Courtesy of Pulte Homes)

By ABCNews Staff

PUBLISHED Sunday, December 14, 2014 at 12:00 am



# NM executions

**The Altruistic Journal**  
April 26, 2006  
Editorial



## It's a Win-Win For Developer and City

Corporate citizenship is easy to talk about, but when it happens, a lot more than talk has got to take place. Puller Homes is working on a multimillion dollar planned community in Rio Rancho. It also has projects ongoing in Albuquerque, especially on the growing West Side.

As developers go, Puliz has got to be one of the most innovative, if not one of the busiest in New Mexico. In addition to putting families in new homes, Puliz is concentrating on building a community from the ground up. That includes more than just rooftops.

But if the \$2 million project is approved, it will have a big impact on the city. "If you have 300 homes at Rincón Hondo, there will be 900 homes at Loma Colorado. It will have a big impact on the city," says the mayor. "It will have a big impact on the city." The mayor says the city will have a big impact on the city. The mayor says the city will have a big impact on the city.

ed \$100,000 into the new Loma Colorado library's teen center and is paying to

from other Rio Rancho city projects near as new community. About \$1 million Monterey Arroyo, which the Southern Sandoval County Flood Control project. It will become the authority's largest dam.

if control for the city of Rio Rancho and the village of Corralitos," said David I. Jaffe, director. "Pulse has put in much more than their fair share." Jaffe wants to gain much through its development, the least of which is profiting rewarded as well.

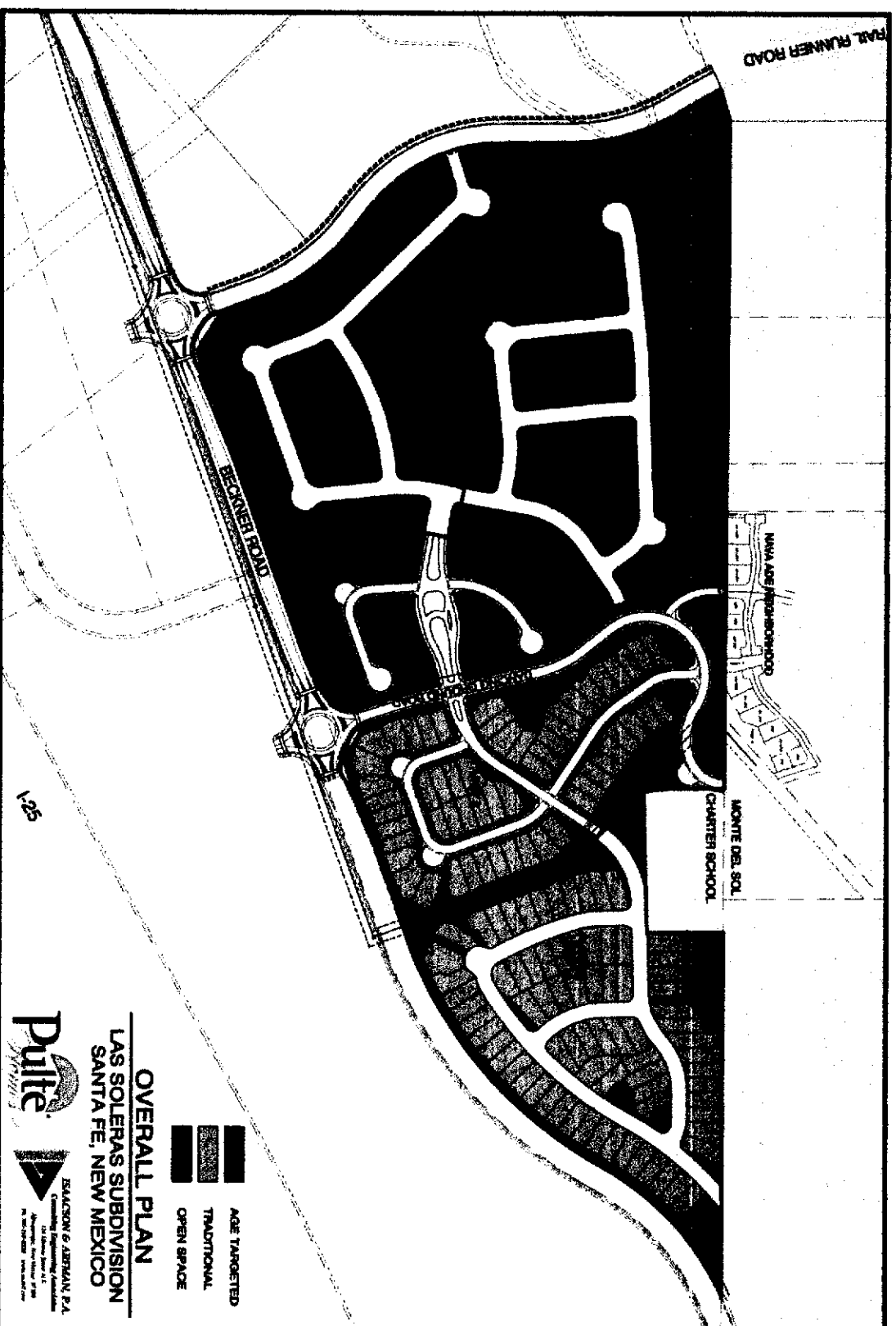
appears that all they do is take, take, take." Price has said, "But with these quality of life not only for those in our development, but in the entire city." Price of Police's magic, either from more immersion by Sanchez and Price at

\_\_\_\_\_

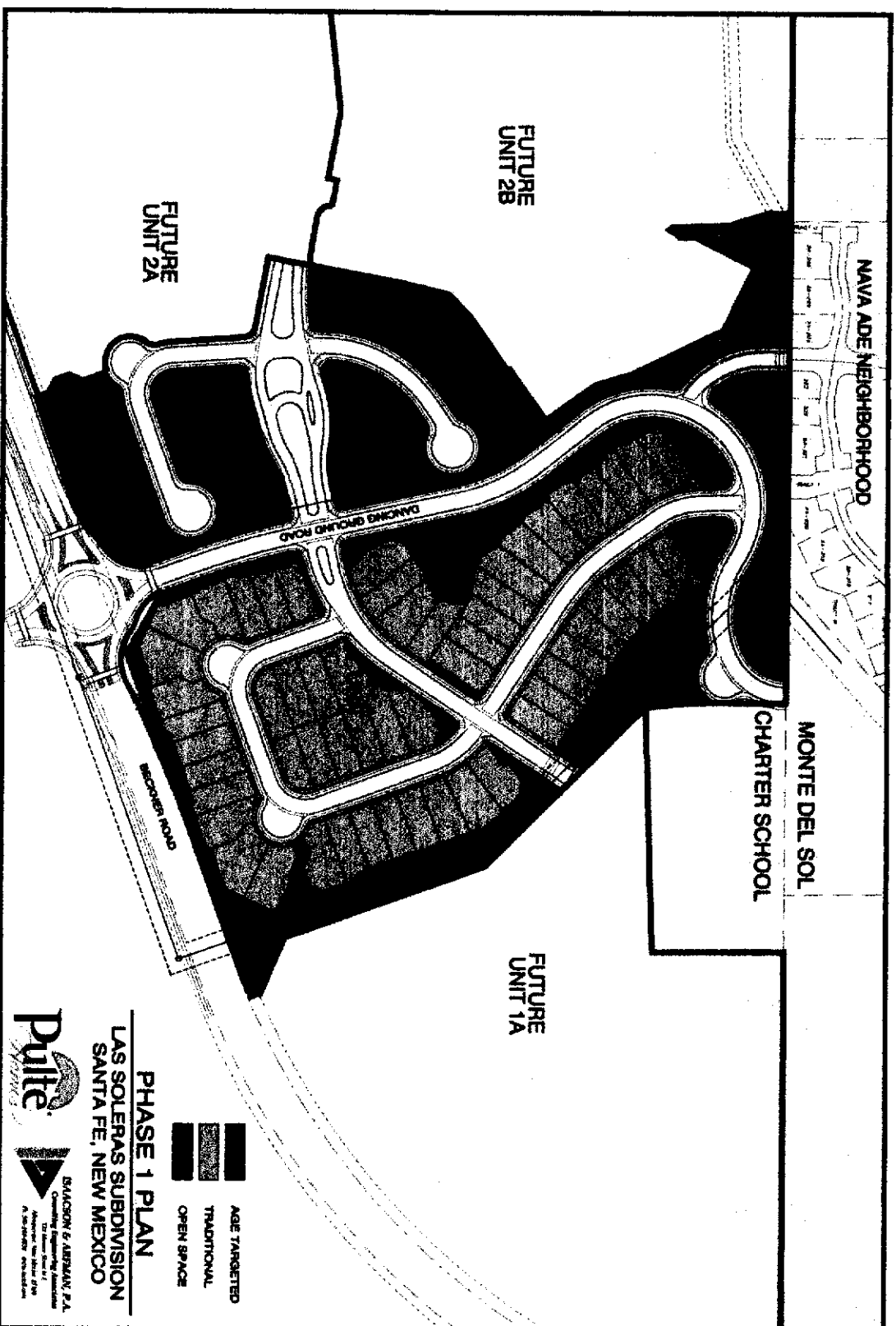
# Conclusion

- New home and resale inventory are dominated by higher end, custom product and higher price points
- There is a lack of affordable product concepts for Santa Fe residents
- Las Soleras will effectively replace dissipating new home supply
- Las Soleras will introduce new, consumer inspired product designs and options in a master plan community design with integrated park and walking trails in a desirable submarket
- Las Soleras is an opportunity to introduce a comprehensive, new home concept that does not currently exist in Santa Fe at a price point that serves the growing demand of move-up and 55+ buyers

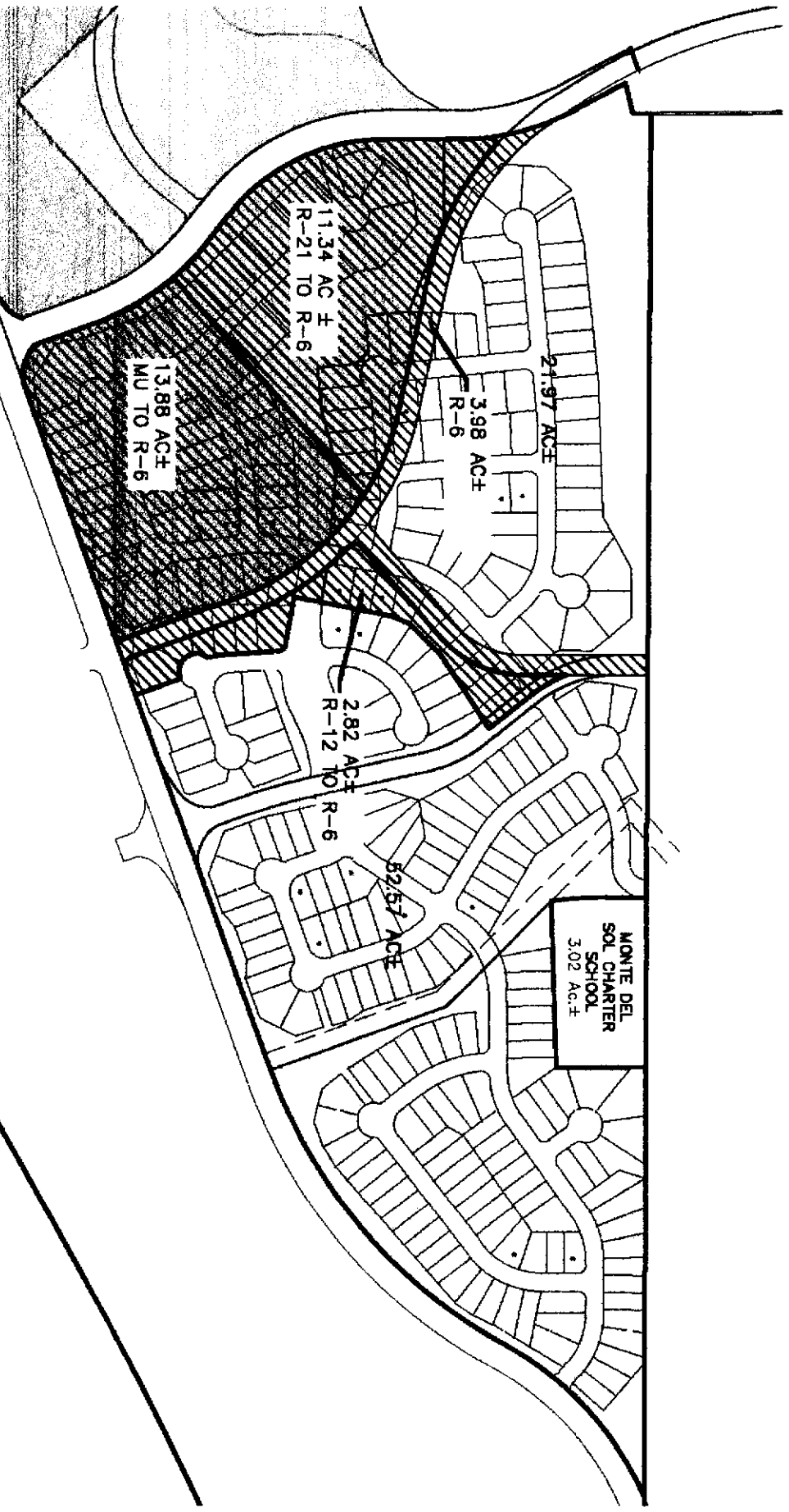
# Overall Subdivision Plan



# Phase I, Subdivision Plan

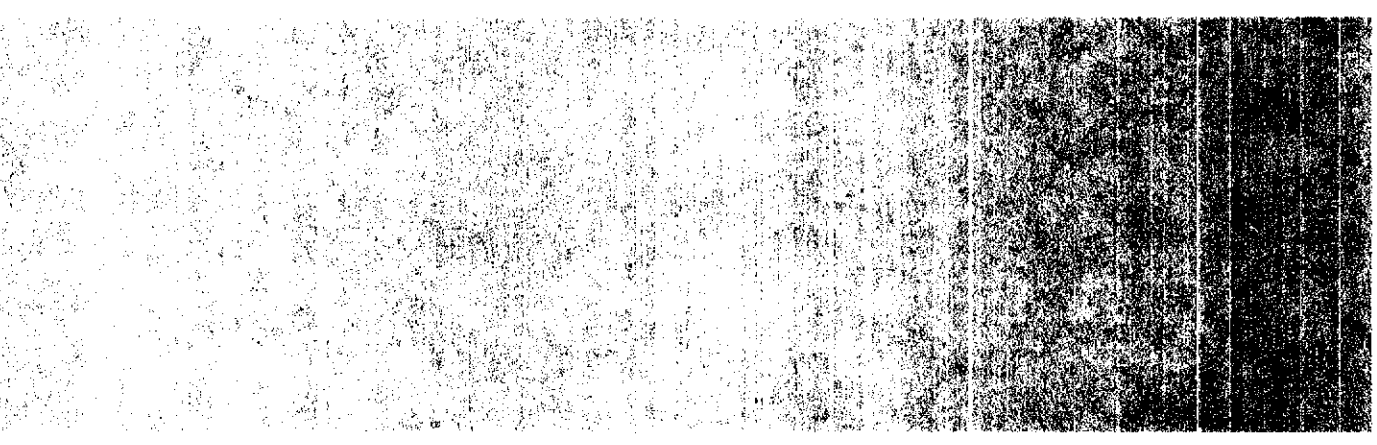


# General Plan Amendment

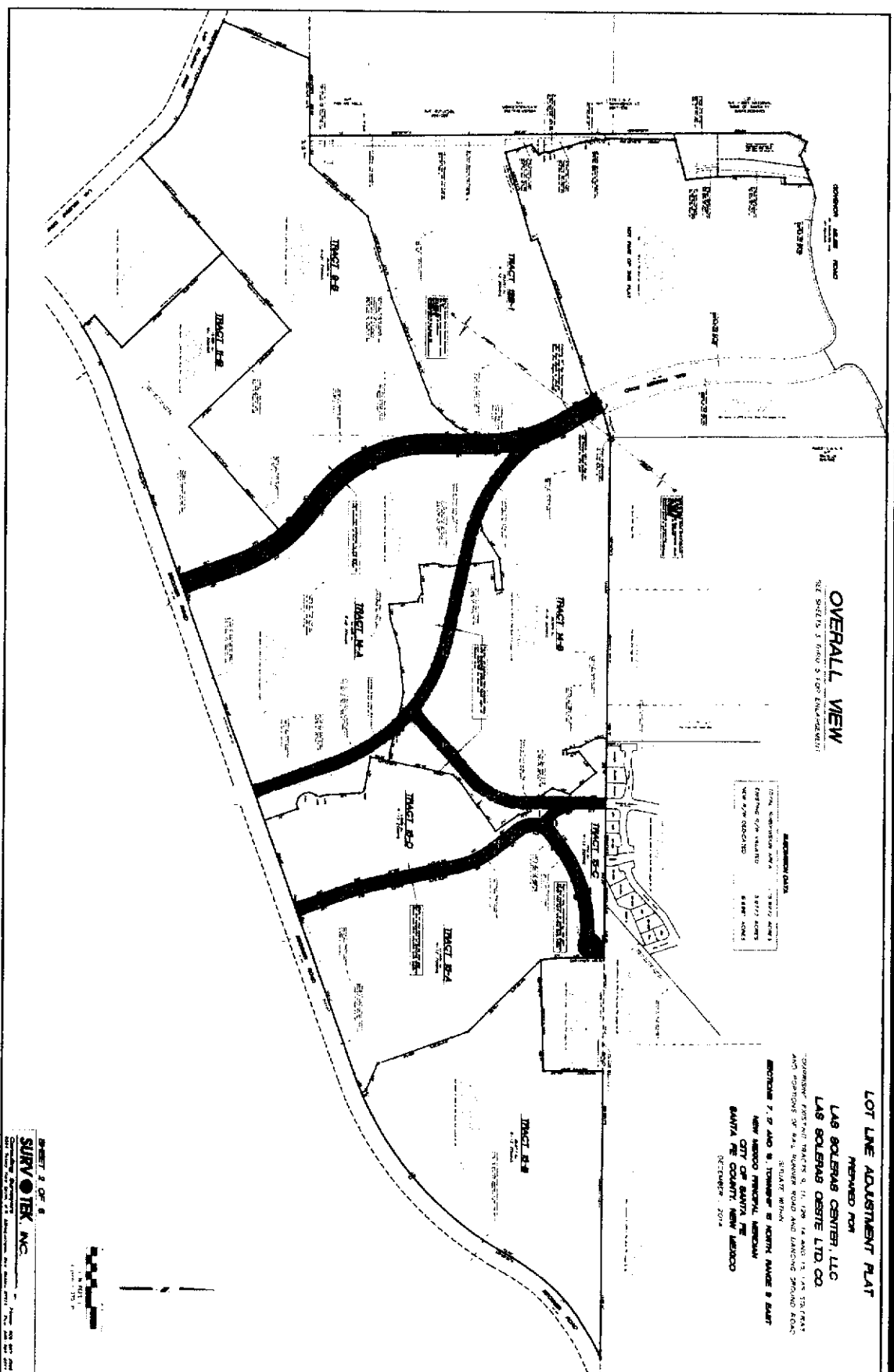


# **Las Soleras Master Plan Amendments**

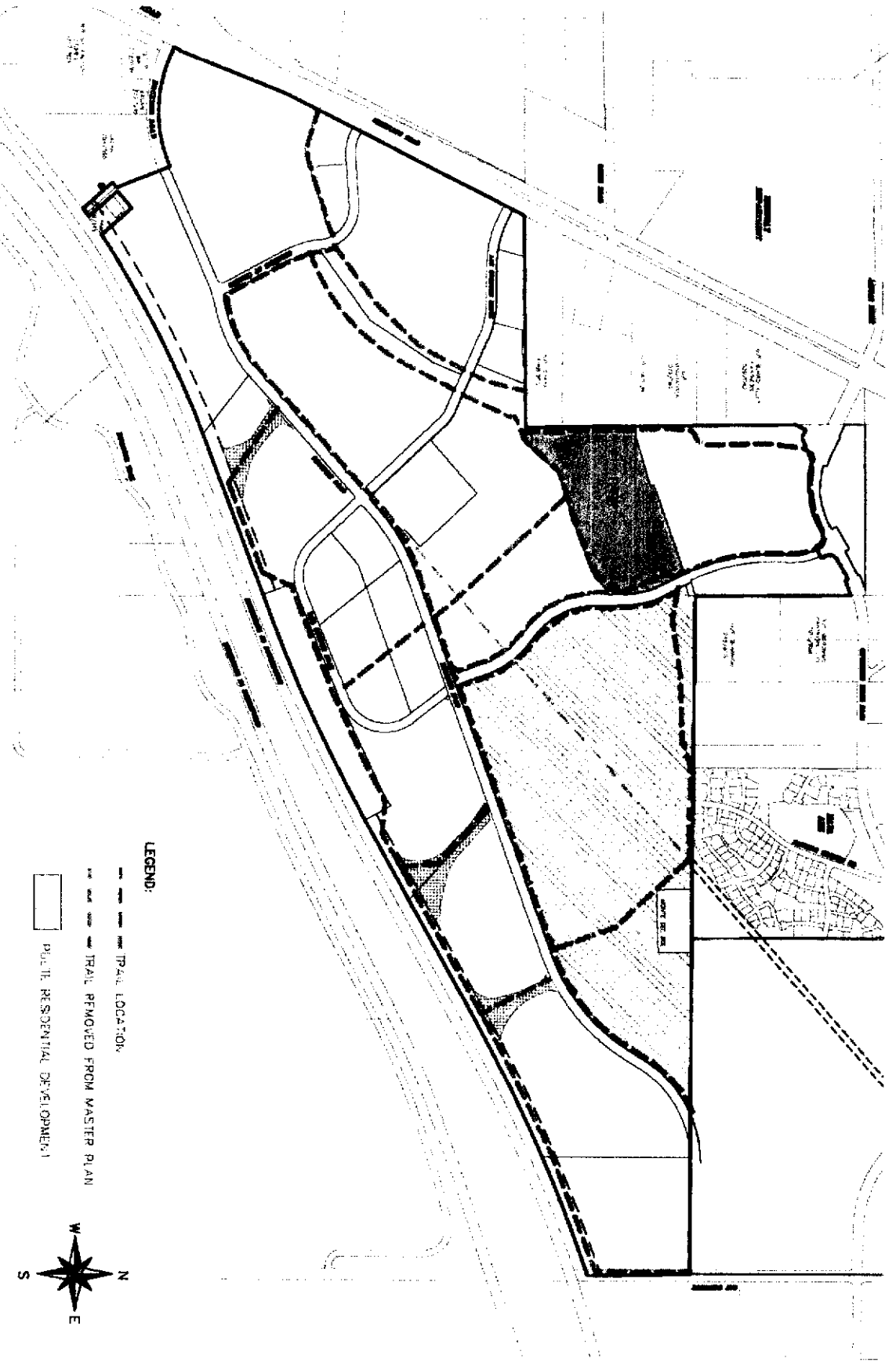
- Realignment of roads
- Reconfiguration of trails
- Reduction in active park (condition #45)
- Reconfiguration of land tracts



# Road Realignment



# Las Soleras Overall Trail Plan



## Reduction in 20 acre park requirement

### Condition #45

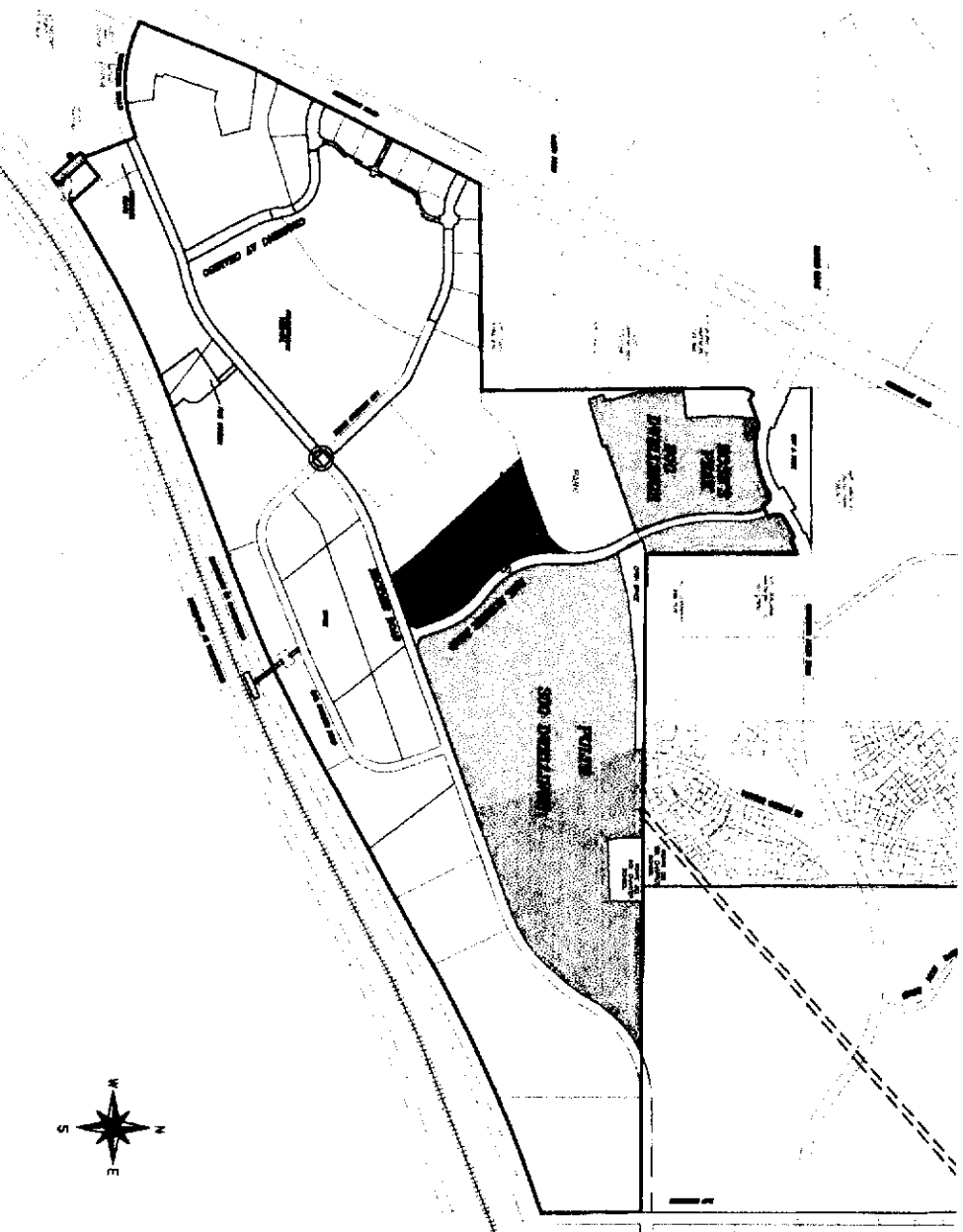
The applicant shall, in consultation with Santa Fe Public Schools and City staff, locate an additional 20 acres for active park space. This condition shall be incorporated into the Annexation Agreement.

The Planning Commission shall approve the park location prior to the approval of a development plan for any Phase of the Project and shall verify compliance with applicable access standards to the parks and open space.

# Approved Master Plan Density

Tract	Zoning	Max. Density/Zoning District	Max. No. of Dwelling Units
9	RM-1 – 40.04 acres	21 DU less floodplain	840
11	MU – 28.32 acres	$\frac{1}{2}$ of area 12 DU/acre	169
12	R-12 – 23.03 acres	12 DU/acre	276
13	R-6 – 6.80 acres	6 DU/acre	40
14	R-6 – 22.16 acres	6 DU/acre	132
15	R-12 – 52.57 acres	12 DU/acre	630
Total			2,087

# Planned Dwellings



Ross's Peak:	200 D.U.
Pulte:	300 D.U.
<u>Apartments:</u>	<u>500 units</u>
<b>Total:</b>	<b>1,000</b>

## Las Soleras Dwellings Current vs. Proposed

Current Las Soleras M.P.: 2,087 D.U.

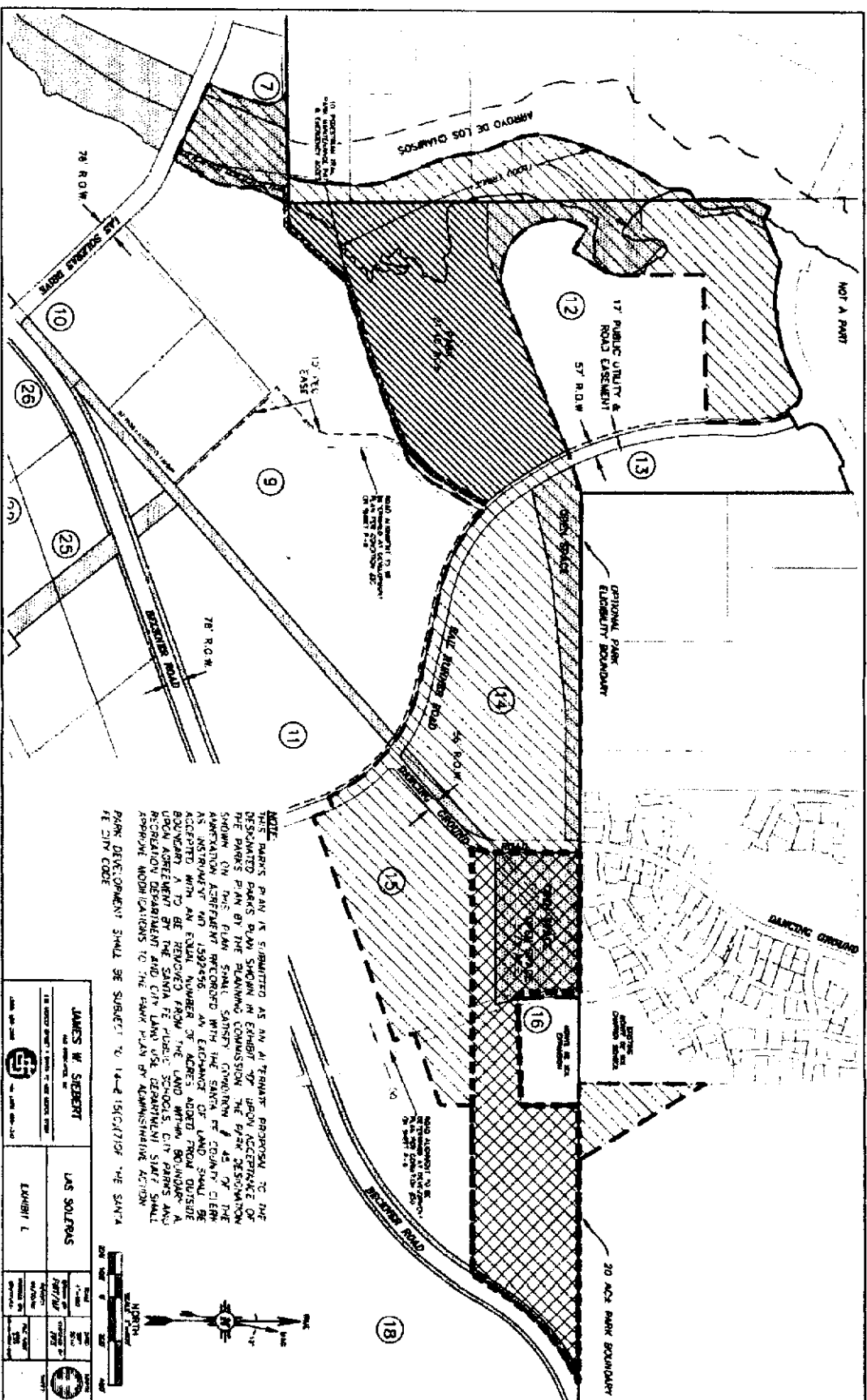
Proposed Estimate: 1,000 D.U.

Regional Park Requirement:

2,087 D.U. = 50 acres

1,000 D.U. = 24 acres

# Park Area Approved by Planning Commission

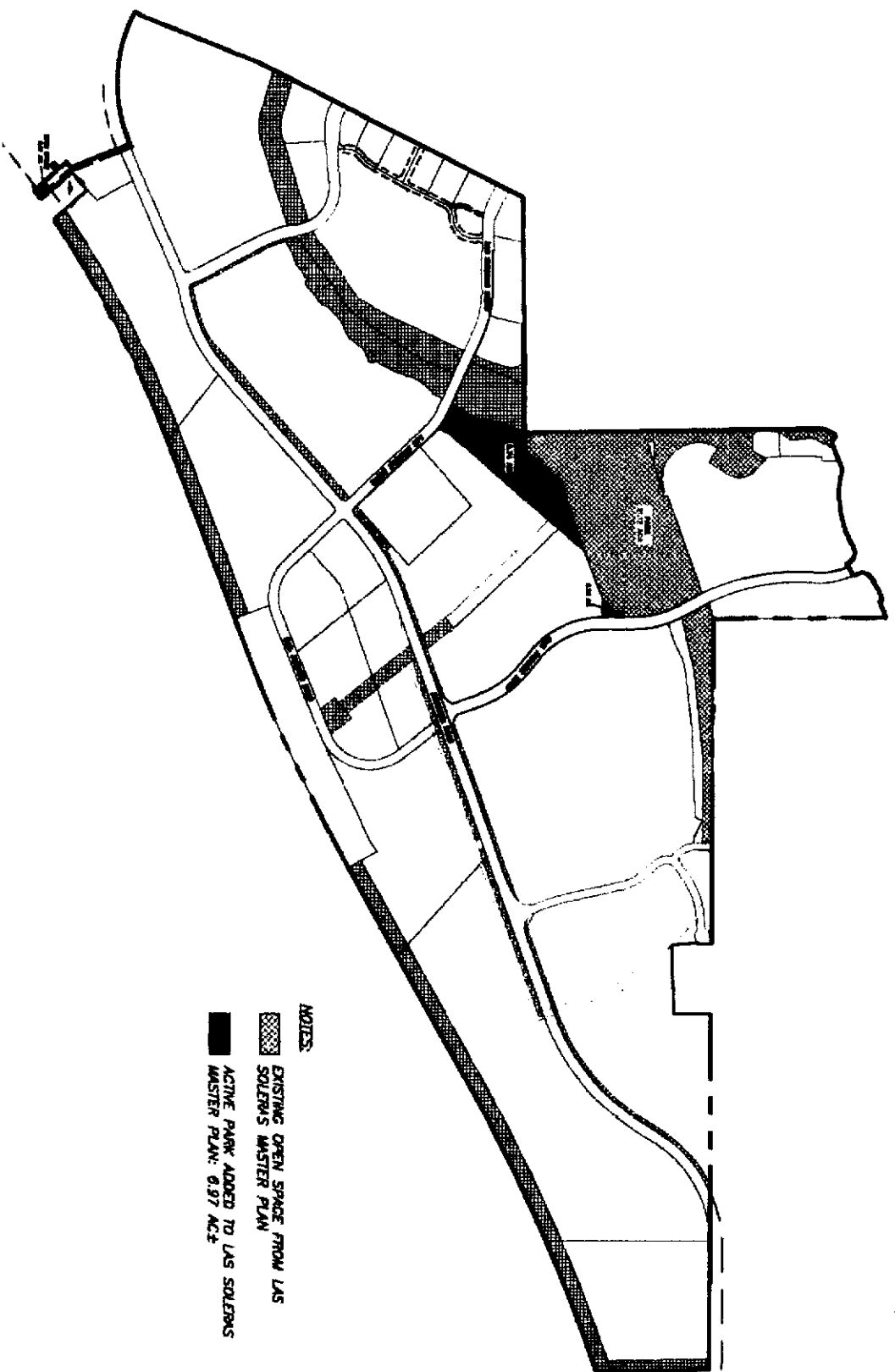


## Conclusions of law

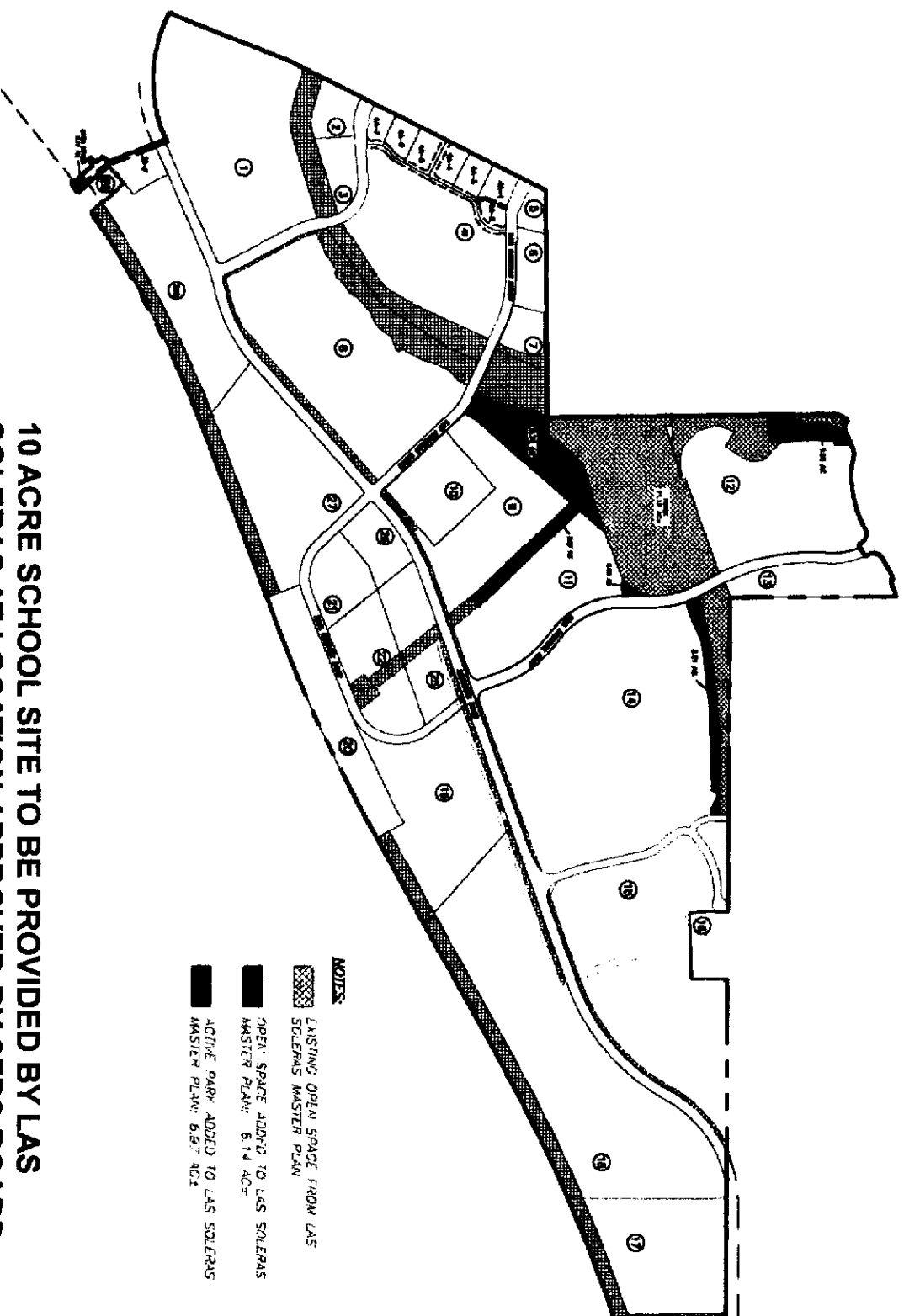
Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

The Commission approves the Proposal, subject to the right of the Applicant or its successors or assigns to request the Commission's approval for the distribution of the Additional Park across the Property as it is developed in smaller-acreage parcels totaling 20 acres in conjunction with the development review process, provided that LUD staff recommends such distribution to the Commission and that the School District and the MPO have consented to such distribution.

# Proposal for active park consistent with staff requirement

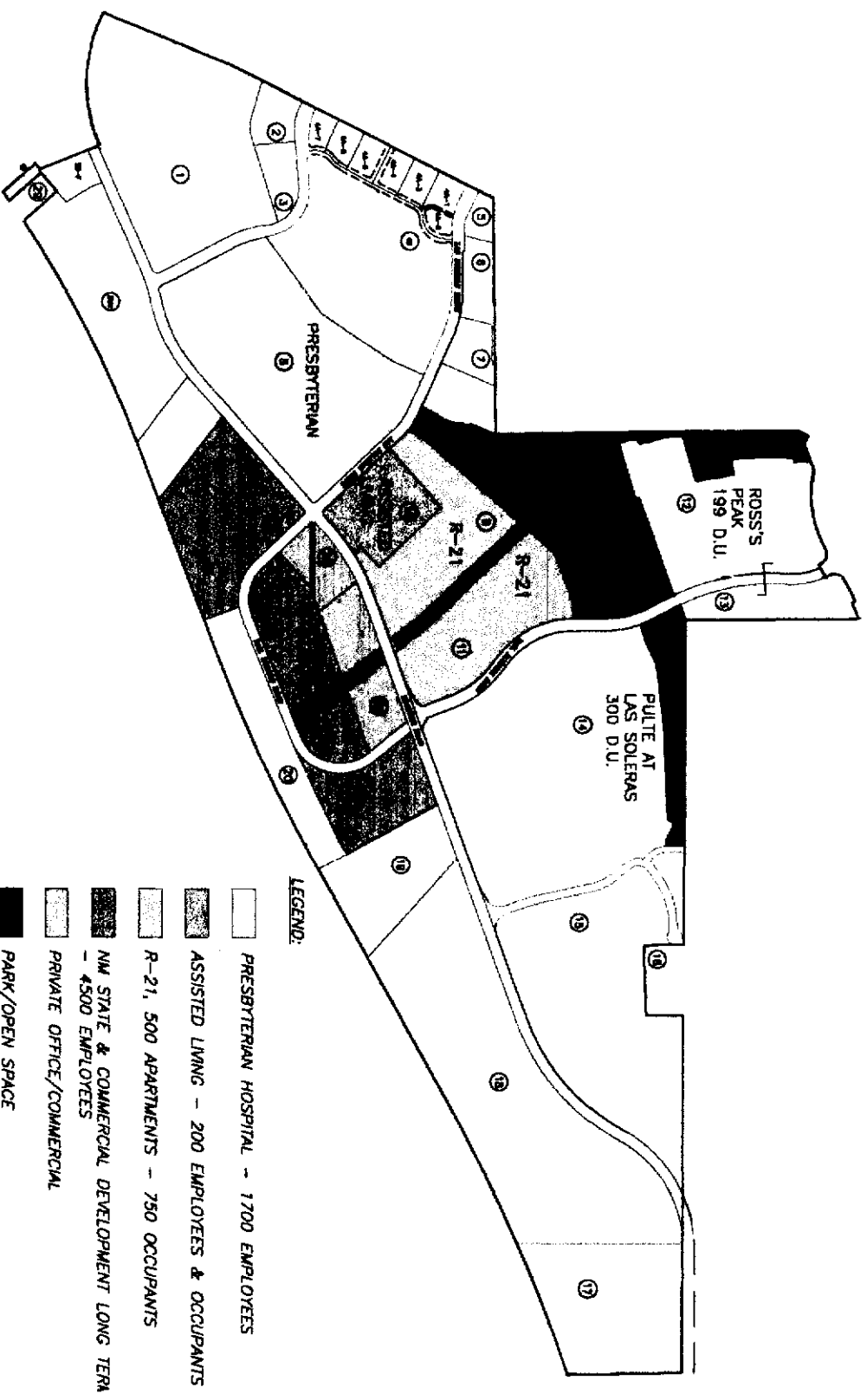


# Las Soleras Proposal for Compliance with Condition #45

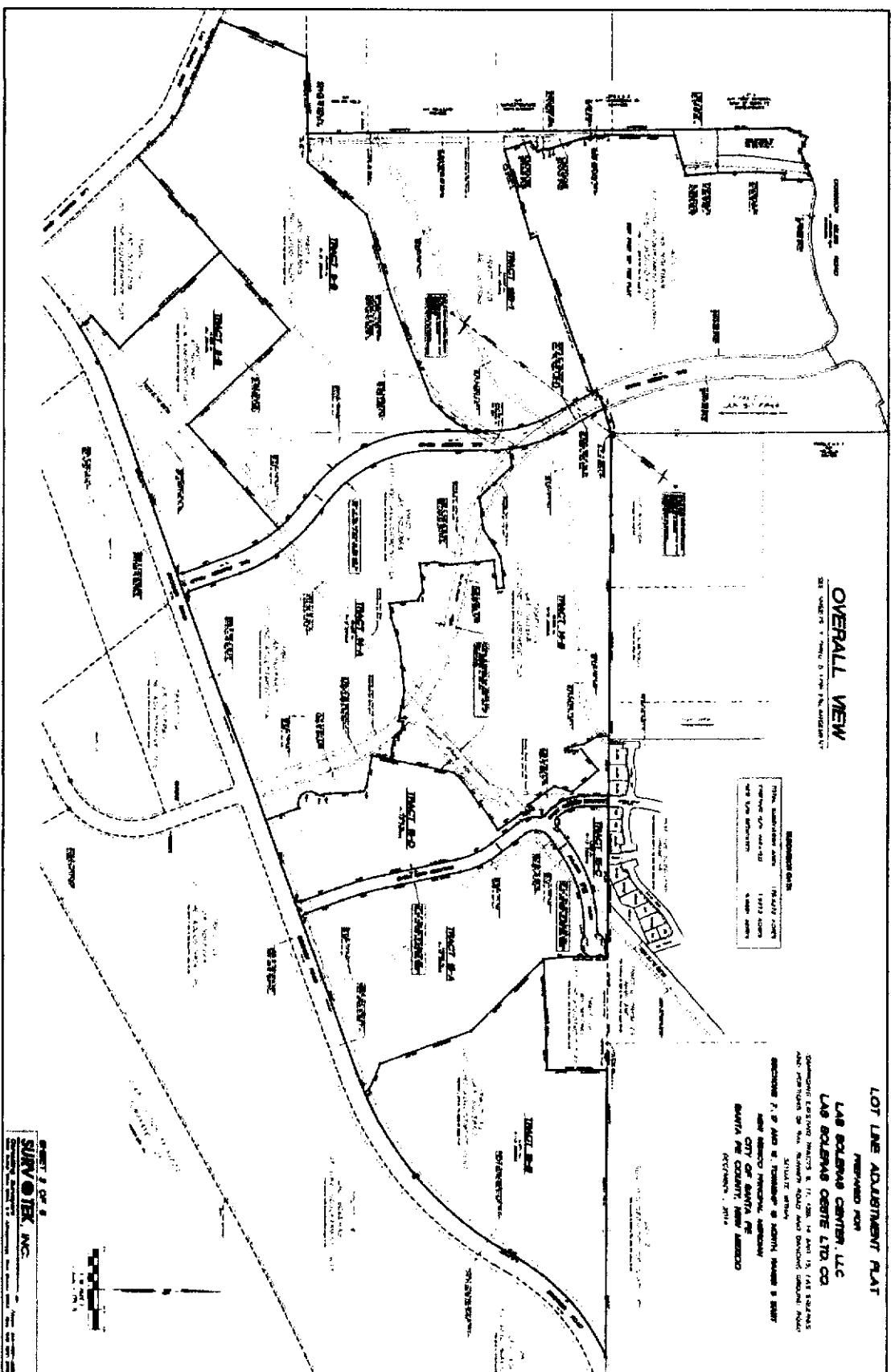


10 ACRE SCHOOL SITE TO BE PROVIDED BY LAS SOLERAS AT LOCATION APPROVED BY SFPD BOARD.

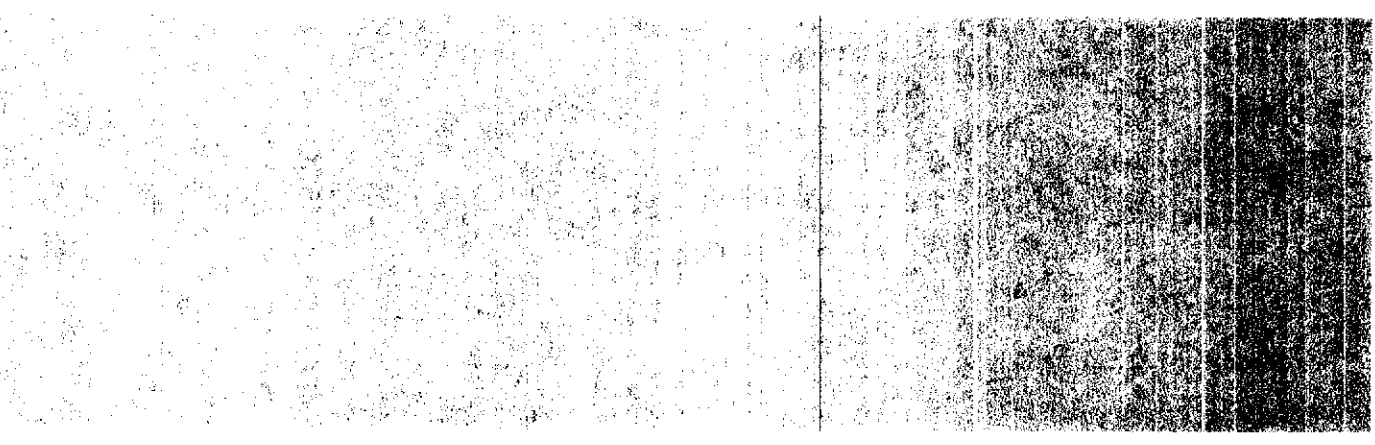
# Park Relative to Employment & Residential



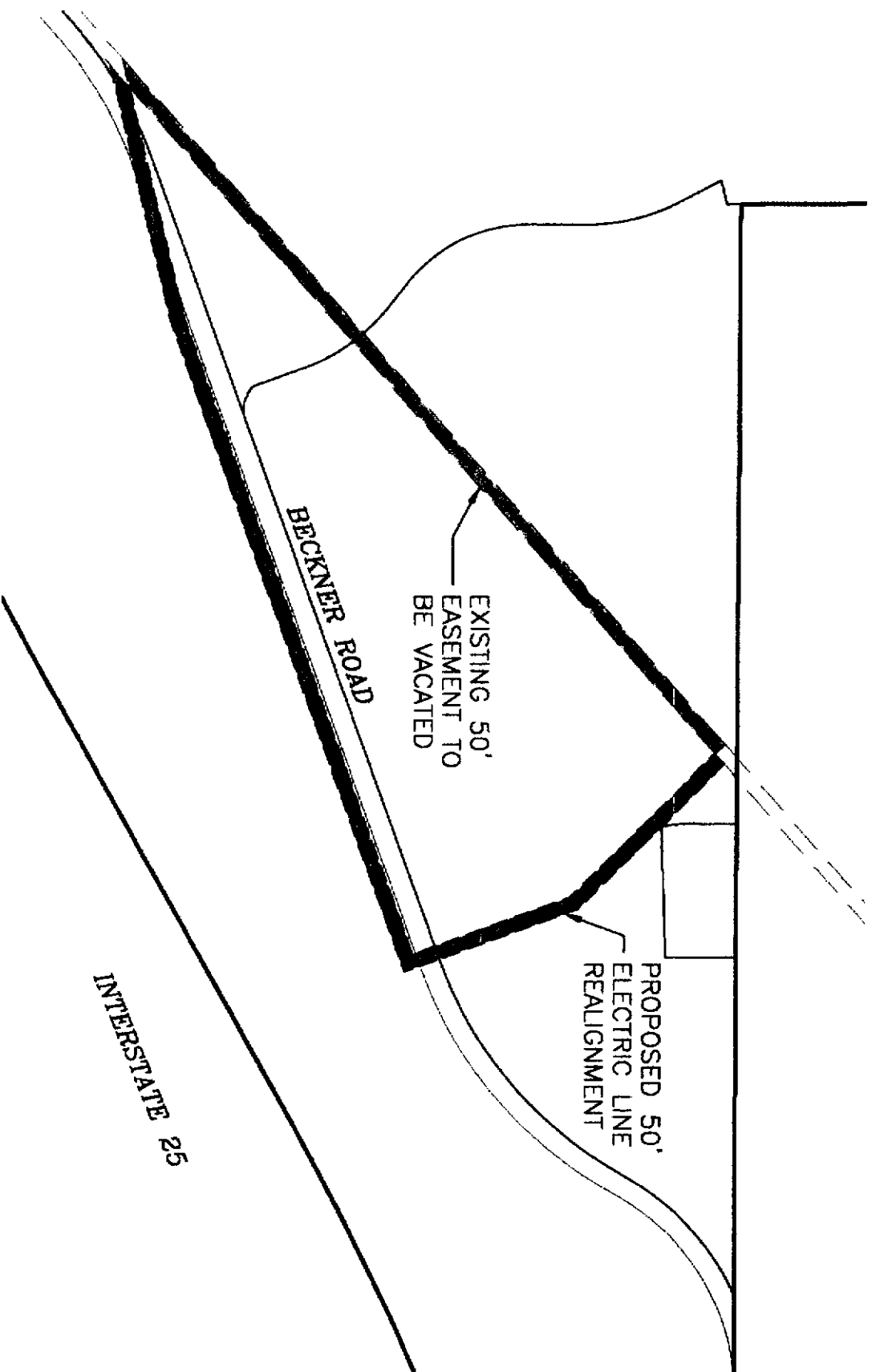
# Lot line adjustment plat



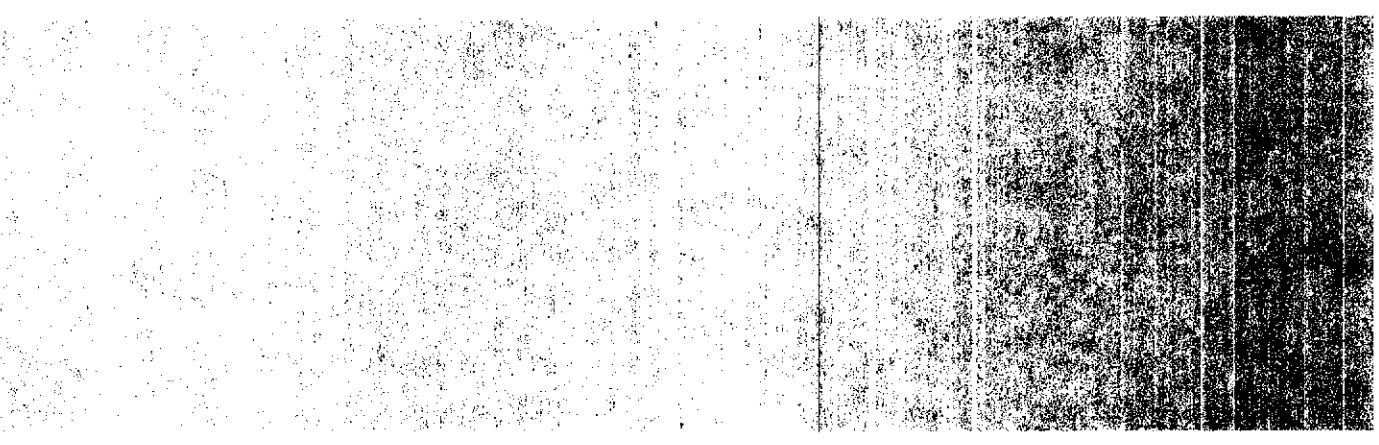
# **Relocation Of Electric Transmission Line**



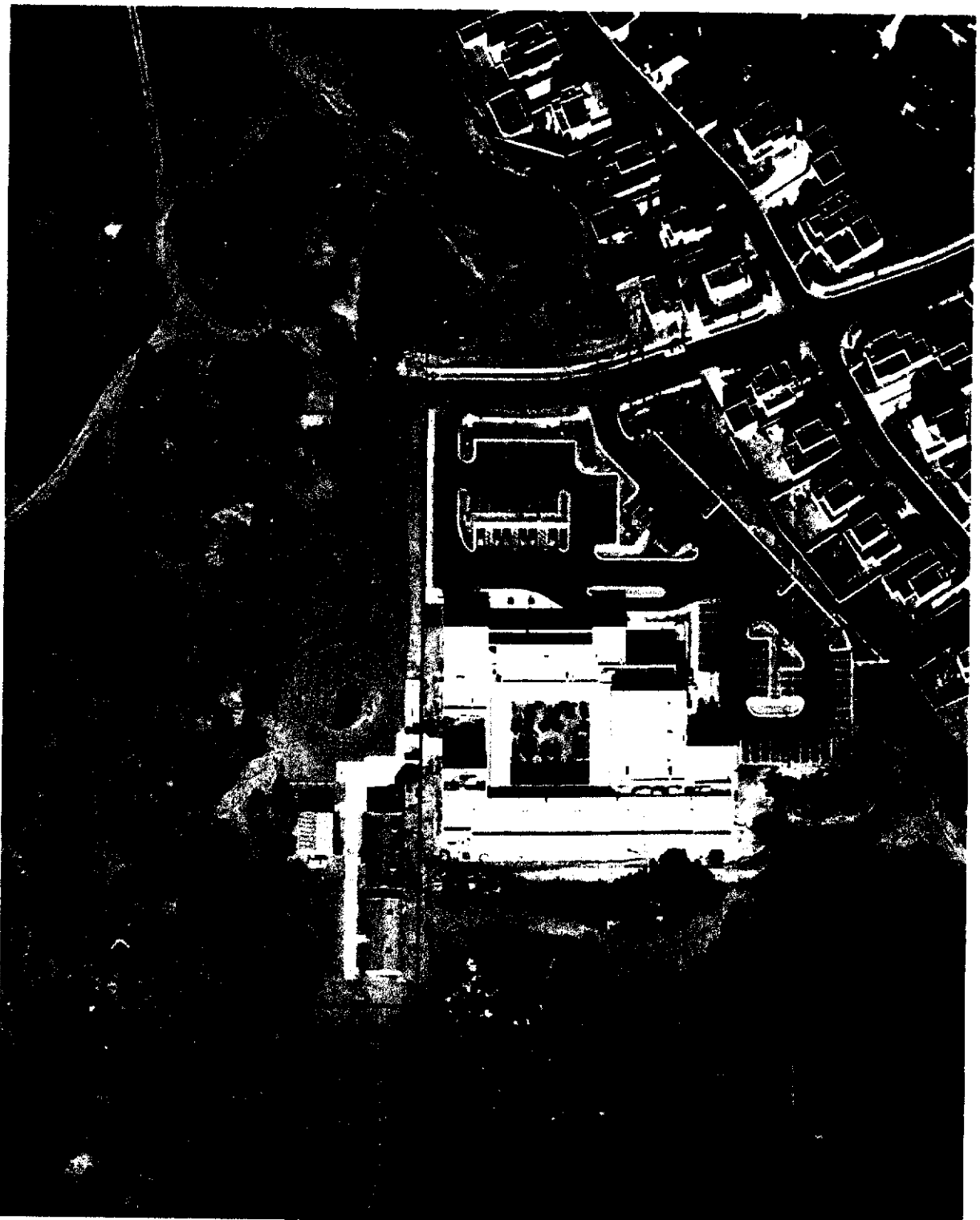
# PNM Transmission Line Relocation



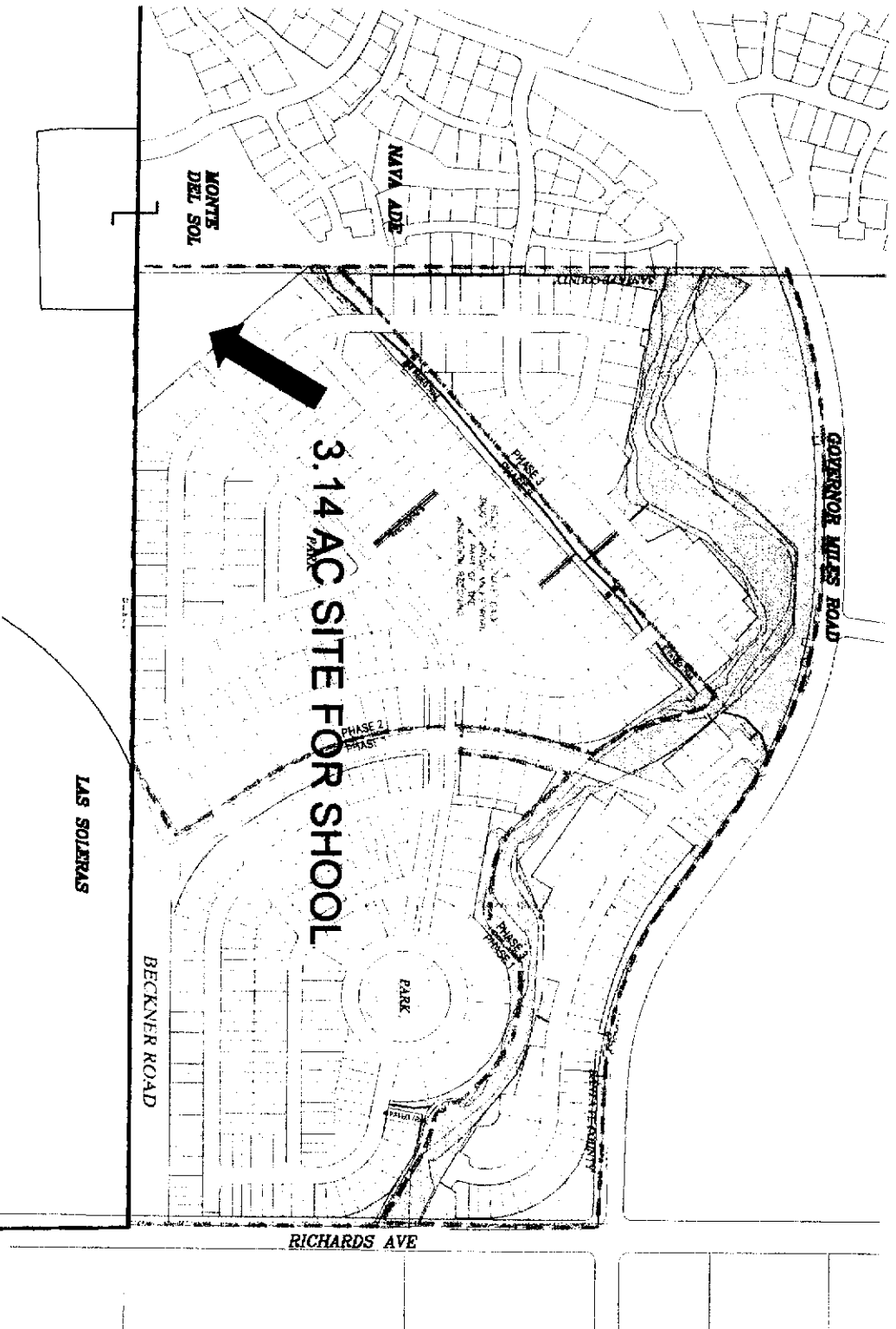
# Monte del Sol



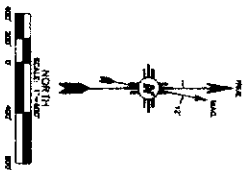
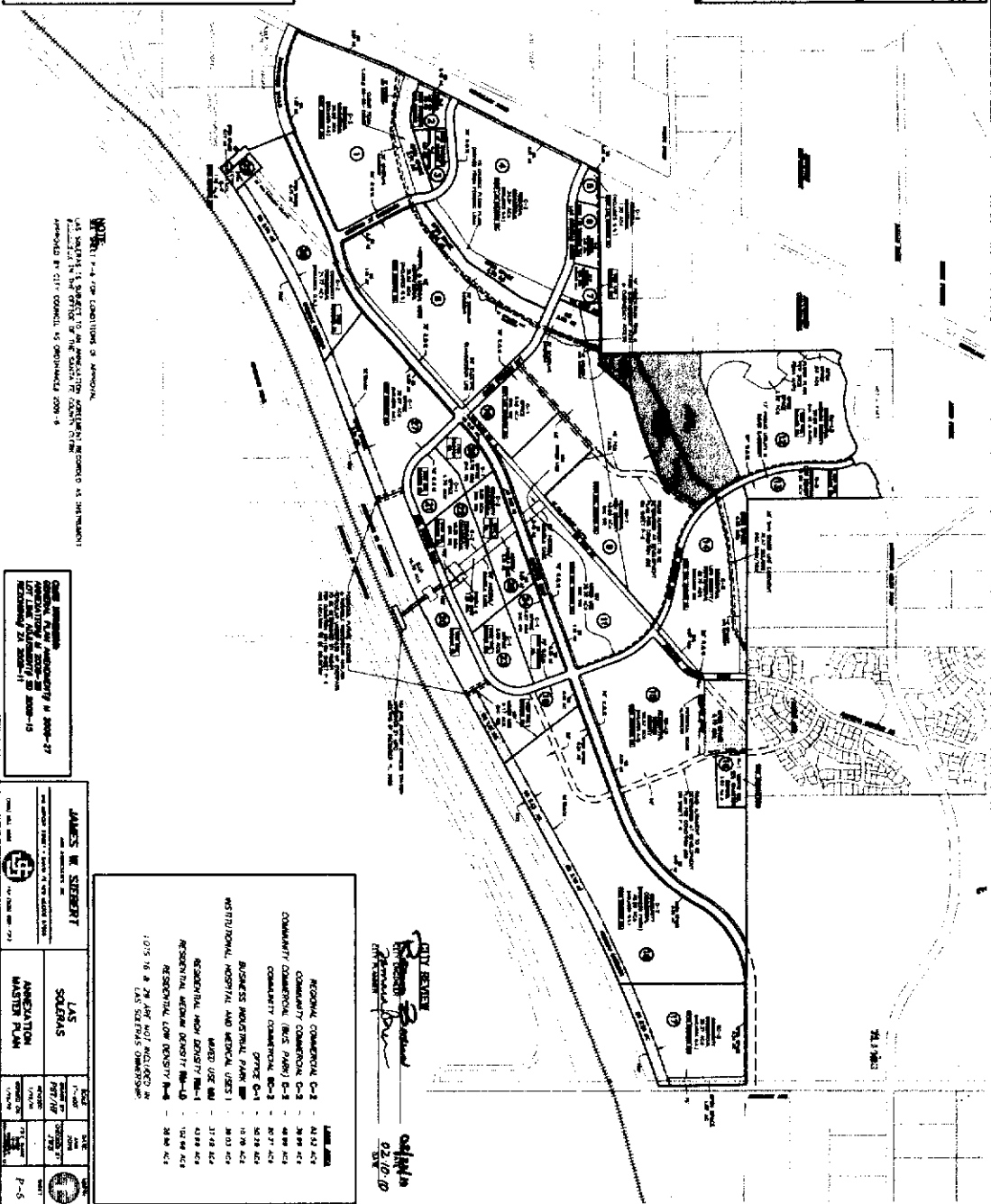
# Existing Monte del Sol Site



# Beaty Master Plan



VICINITY MAP  
1"=8000'

[illegible]

U.S. SOLIDAG IS SUBJECT TO AN INVESTIGATION CONCERNING ITS INVOLVEMENT IN THE OFFICE OF THE ATTORNEY GENERAL. APPROVED BY CIVIL COUNCIL 55 ORDINANCE 2004-6

CHAS. J. JENSEN  
GENERAL PLAIN ANDCOURTLY M 2000-37  
APPROXIMATION N 2000-30  
LOT LINE ADJACENT TO 2000-15  
NORTHWAY 2A 2000-11

**JAMES W. STEBERT**  
AND ASSOCIATES, INC.  
100 SOUTH FIRST • SUITE 100 • CHICAGO, ILL. 60604  
(312) 464-0000

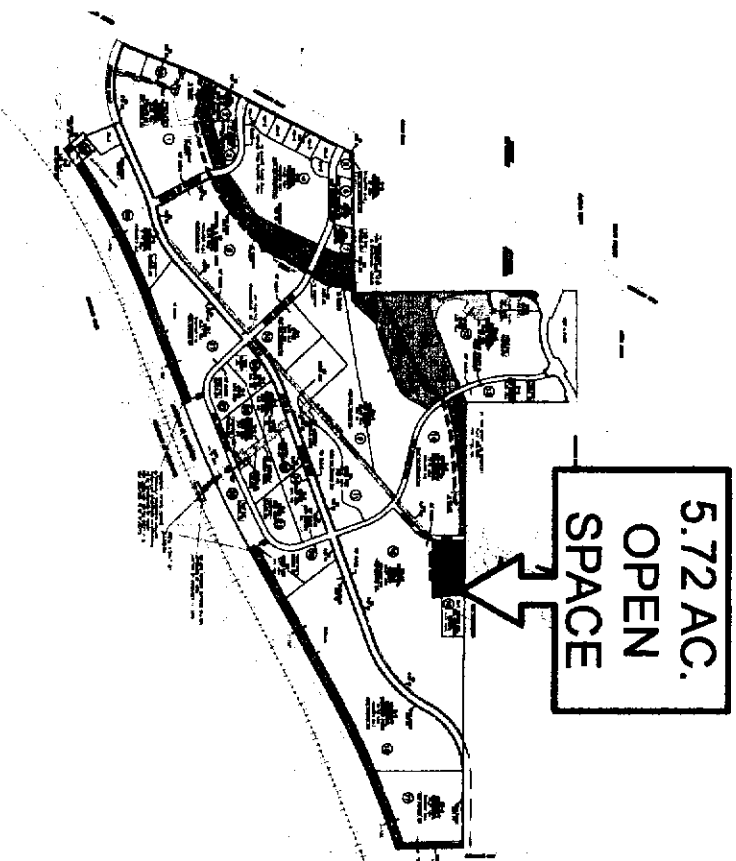
LAS SOLARIS	BOLD F-100T	S&E JUNE 1986		W&A
ANNEXATION MASTER PLAN	DRAWING NO. PRT/APP	CORRECTION 7/8		
	DATE/ISSUE	BY/CHKD		
	DESIGNED BY	7/8		
	CHECKED BY	7/8		
	APPROVED BY	7/8		
				P-6

[illegible]

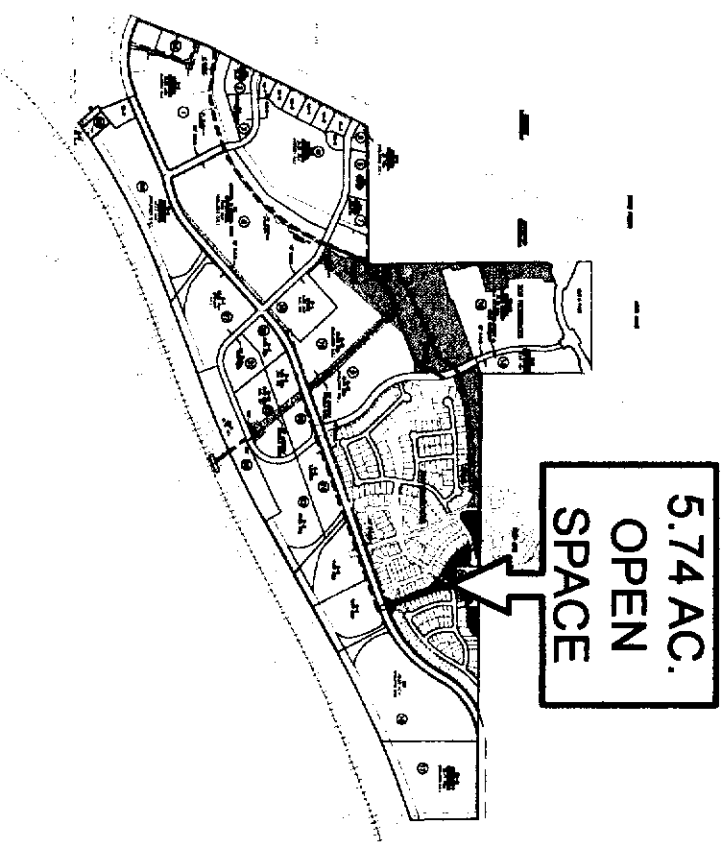
FILE REVIEW  
By Robert J. [illegible]  
CITY DIRECTOR  
[Signature]  
MAY 24 1972

02.10.10  
D.V.

# Las Soleras Relocated Open Space

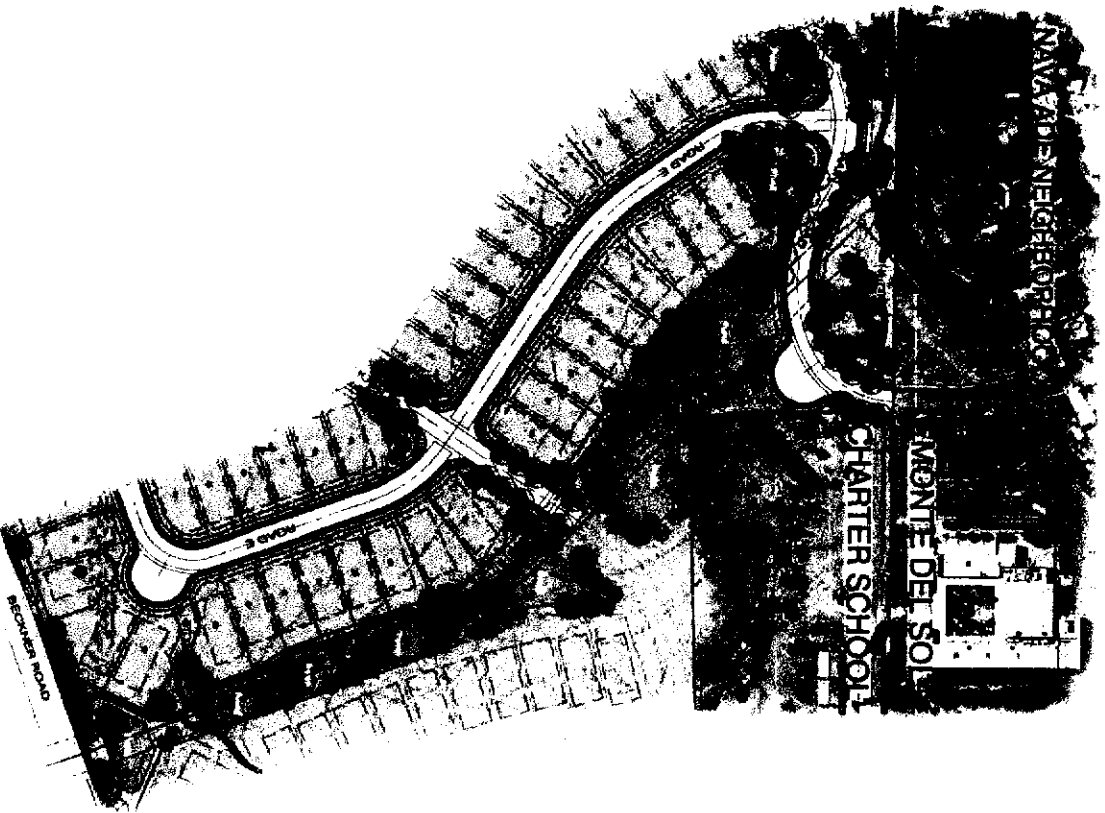


Approved Master Plan



Relocated Open Space

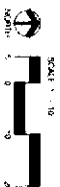
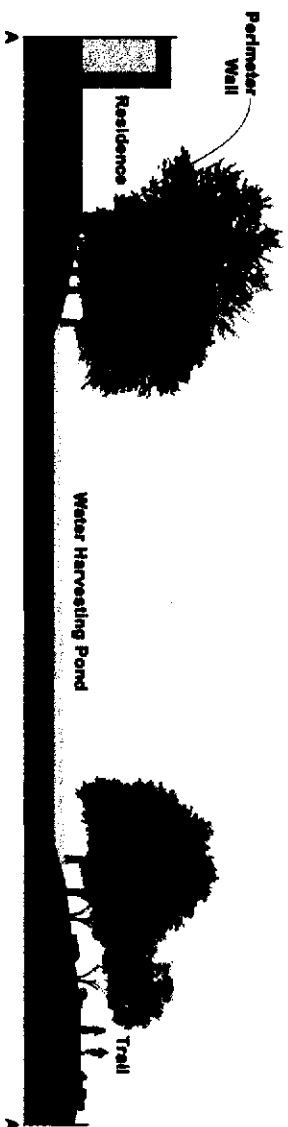
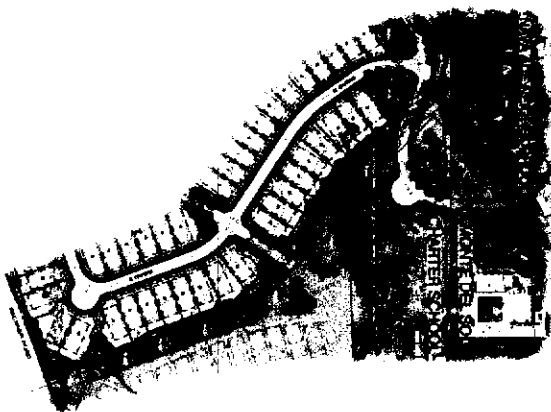
# Revised Open Space



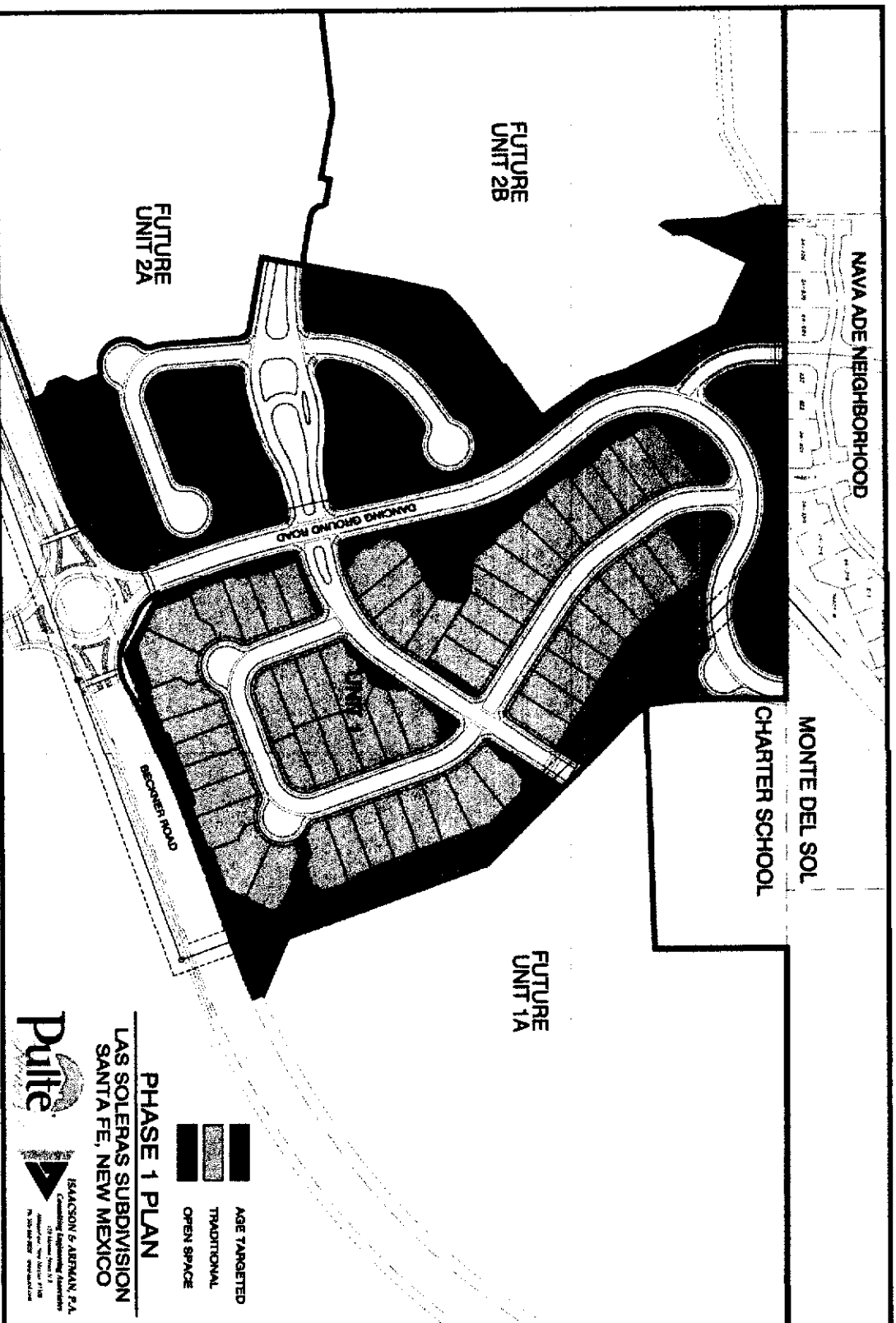
<p><b>Pulte @ Las Soleras</b></p> <p>Santa Fe, New Mexico</p>		<p><b>CONSERVUS</b></p> <p>PLANNING</p> <p>Landscape Architecture Urban Design Planning Services</p> <p>305 SOUTH ST. NW ALBUQUERQUE, NM 87102 PHONE (505) 264-0001 FAX (505) 264-0001</p>
<p>Project No. _____</p> <p>Client _____</p> <p>Date _____</p> <p>Scale _____</p> <p>Sheet No. _____</p>	<p>DESIGNED BY _____</p> <p>DRAWN BY _____</p> <p>CHECKED BY _____</p> <p>APPROVED BY _____</p>	

Enlarged  
Landscape  
Plan Sketch

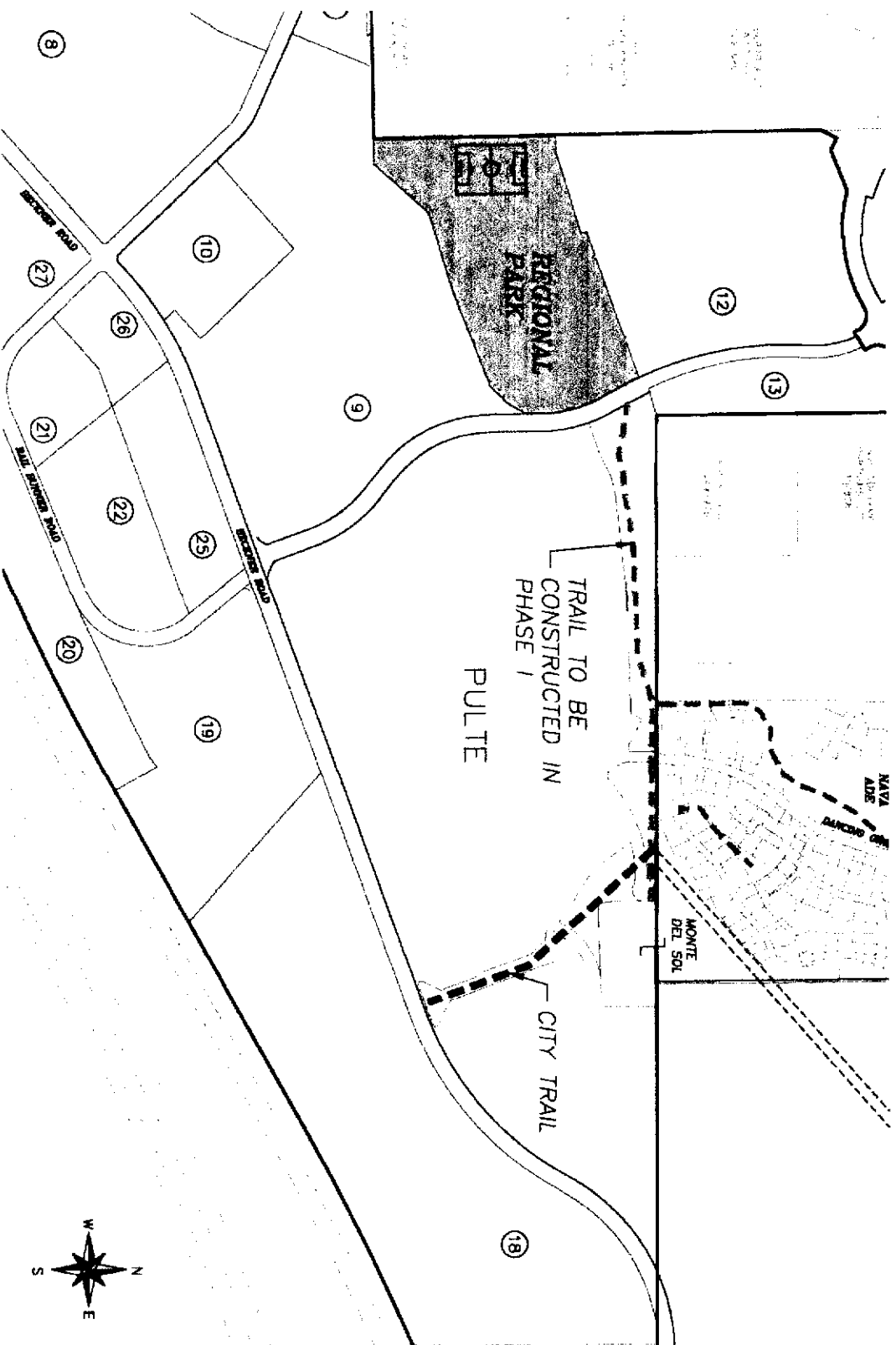
# Trail Cross Section

[illegible]

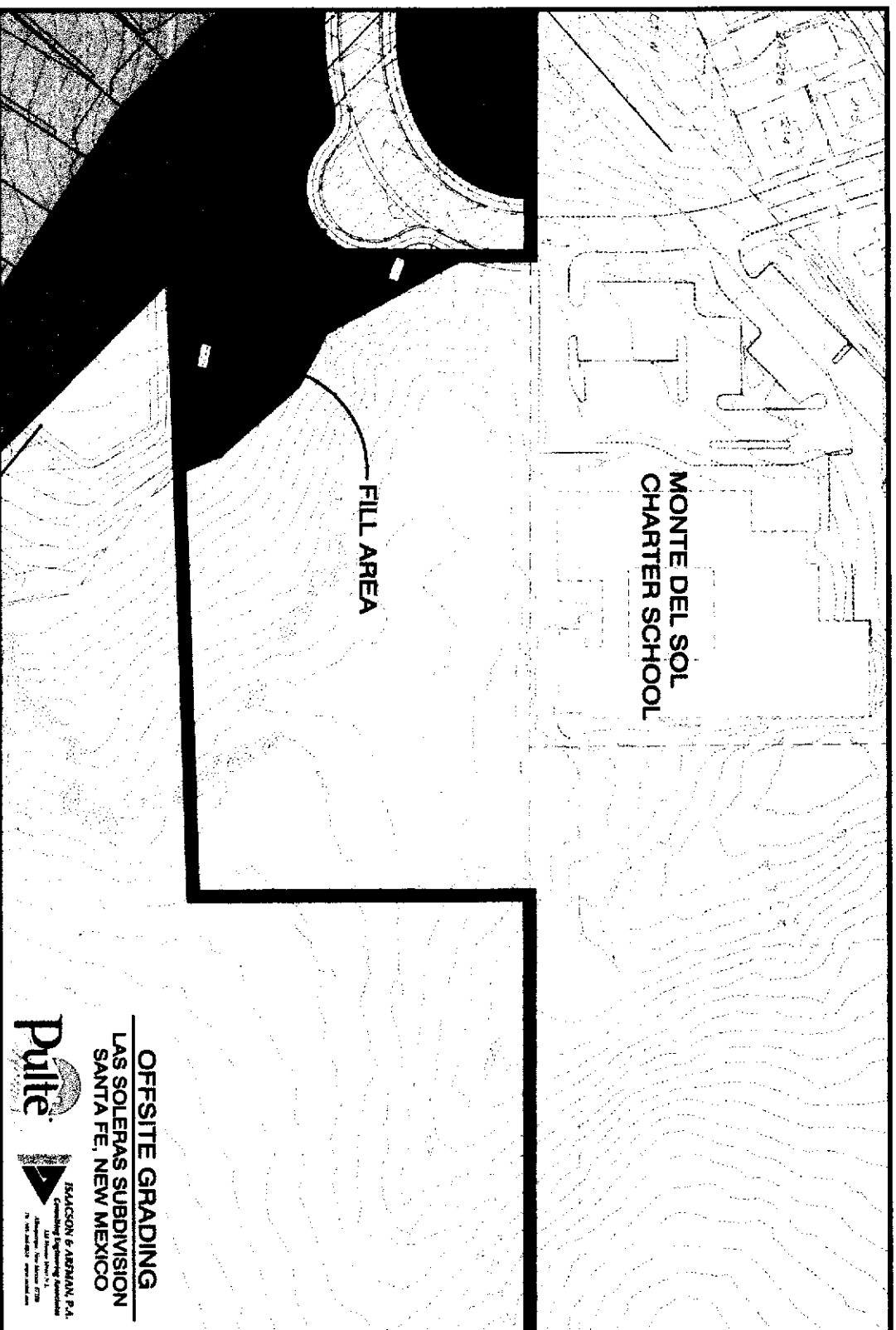
# Phase I Access to Monte del Sol



# Park and Trail Location



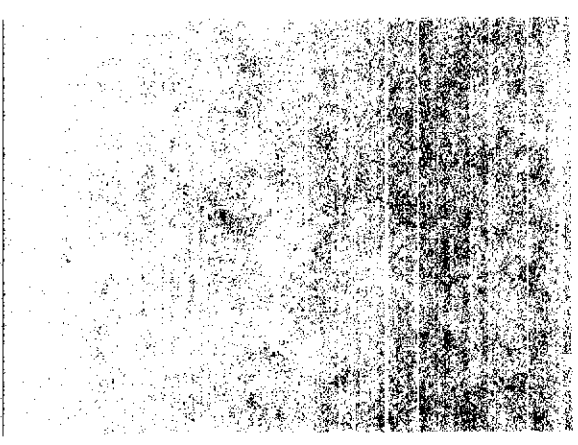
# Offsite Grading



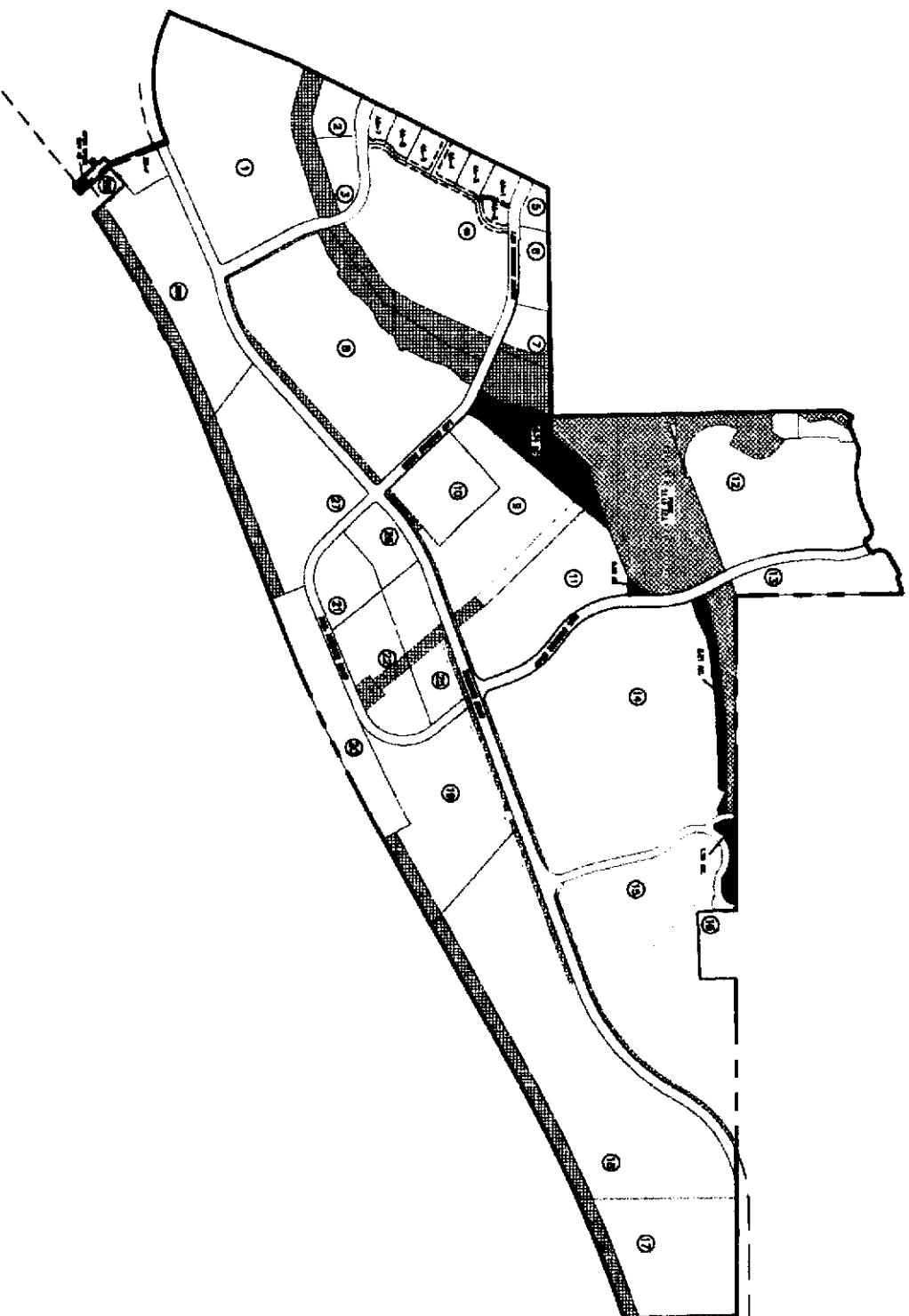
**OFFSITE GRADING**  
**LAS SOLERAS SUBDIVISION**  
**SANTA FE, NEW MEXICO**



# Design Aspects of Subdivision



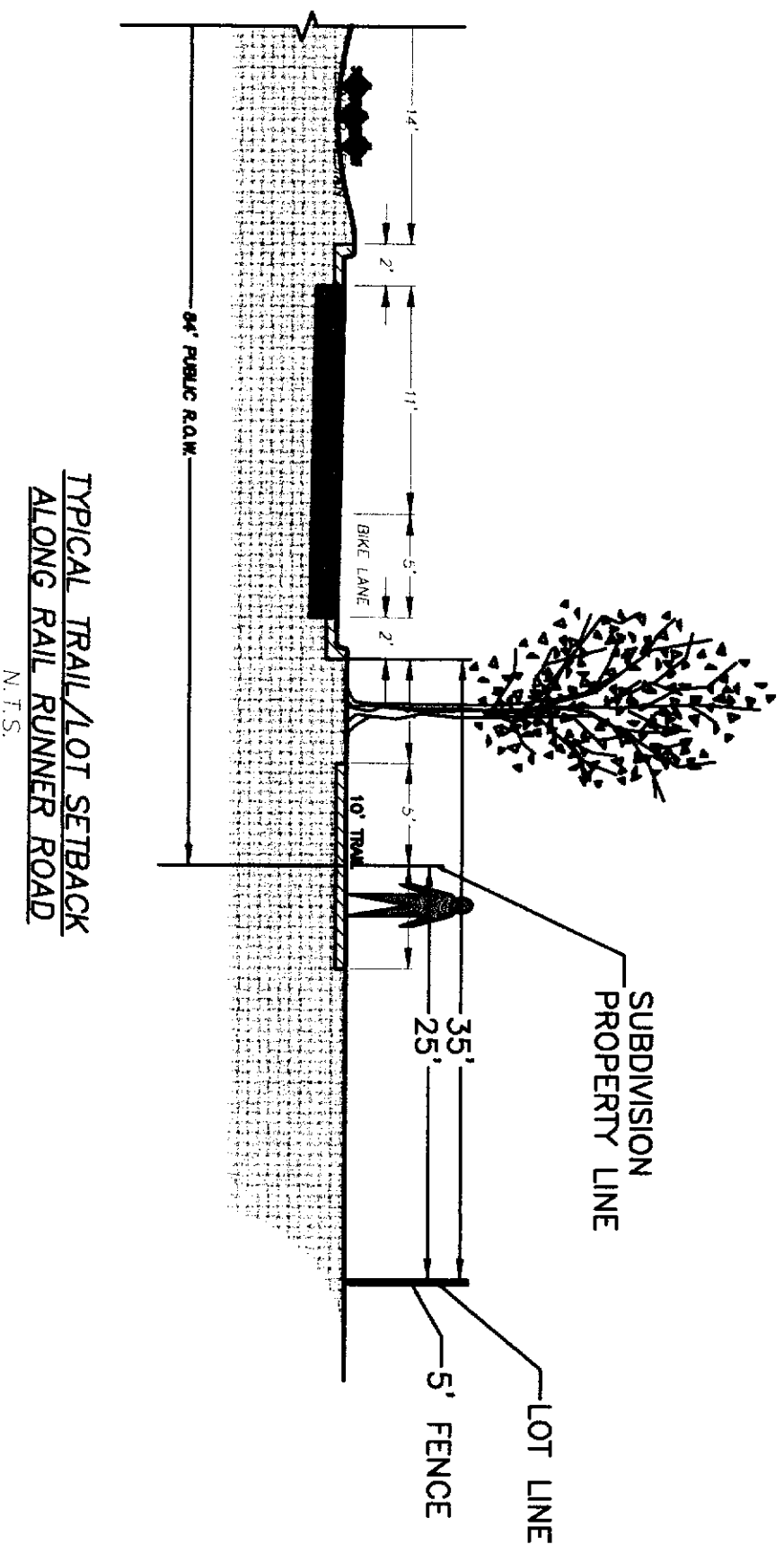
# Open Space Added Between Pulte and Nava Ade Subdivision



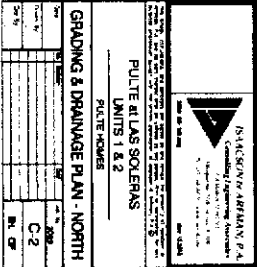
# Green Area with Open Space Linkages



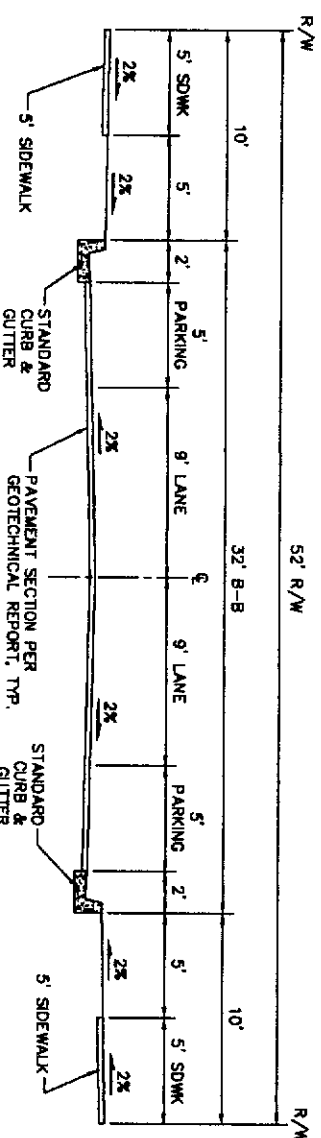
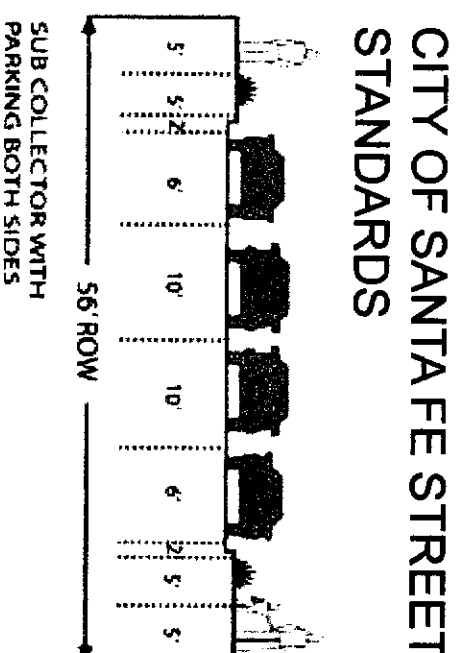
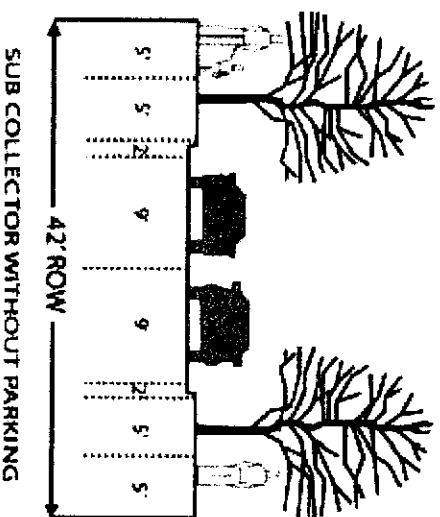
# Deeper Landscape Perimeter



# Ponds designed to reduce run-off into Nava Ade from historic run-off



# Innovative Street Design



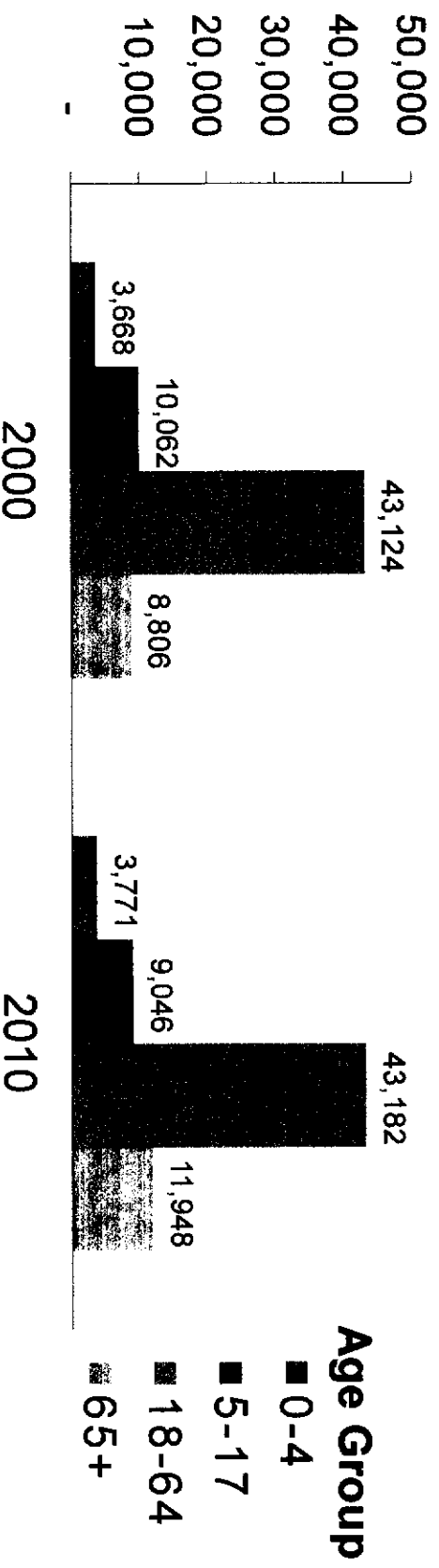
PULTE DESIGN

# Market Considerations



# Increase 65+ Age Group

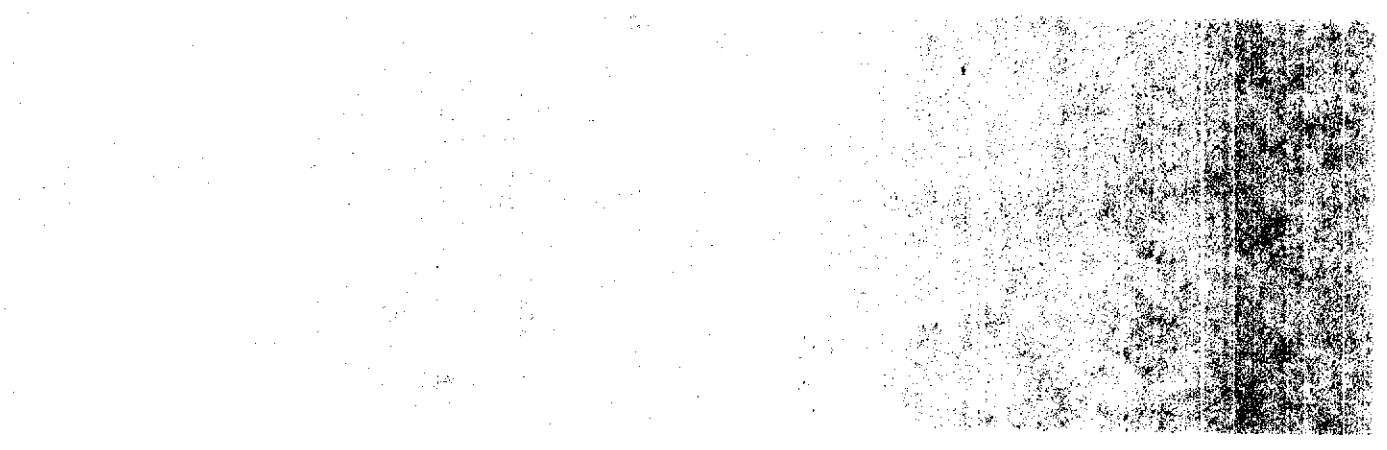
## Change in Population by Age 2000-2010



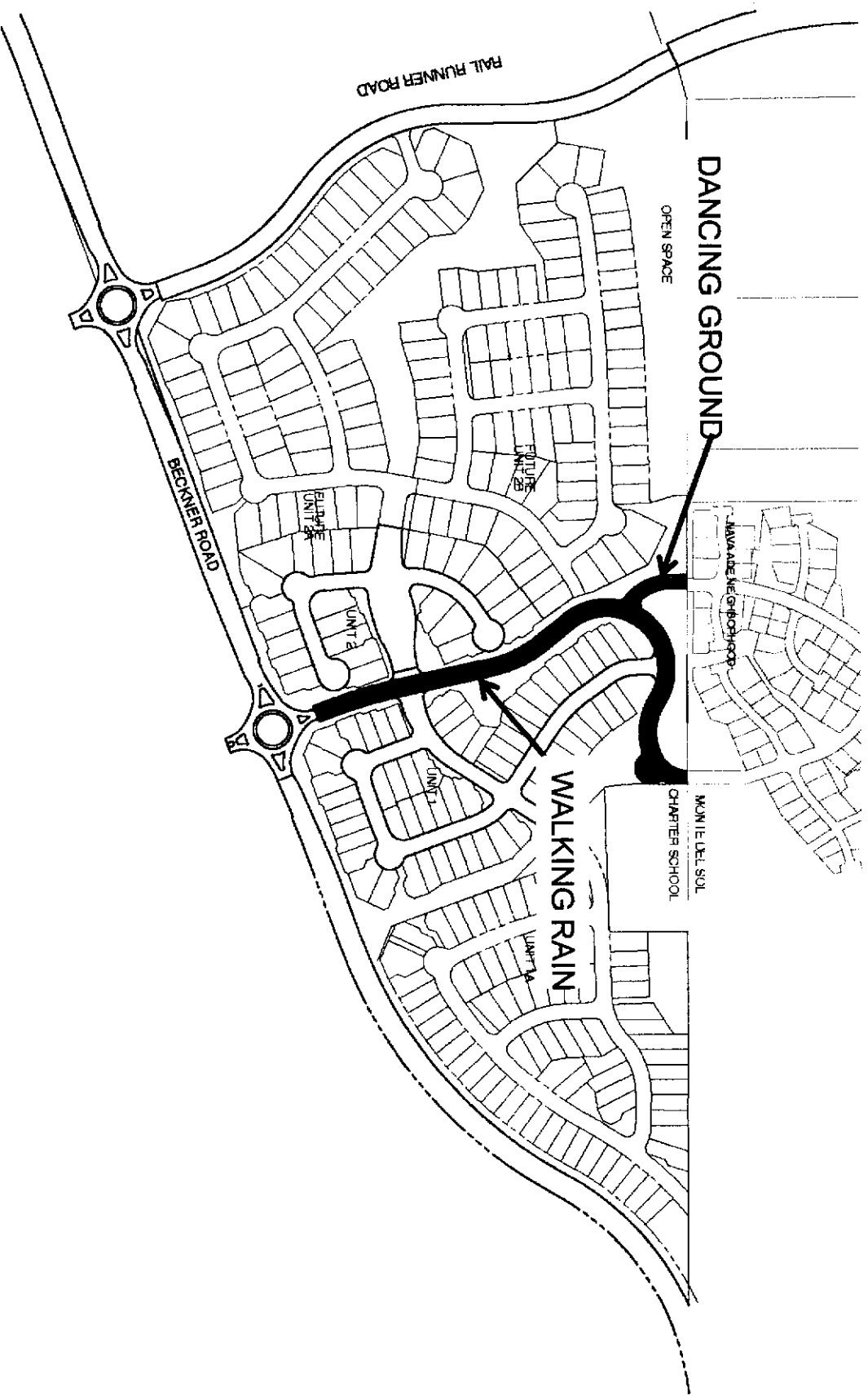
### Percentage of Change

0-4:	3.09%
5-17:	-10.1%
18-64:	.13%
65+:	35.68%

# Traffic Issues



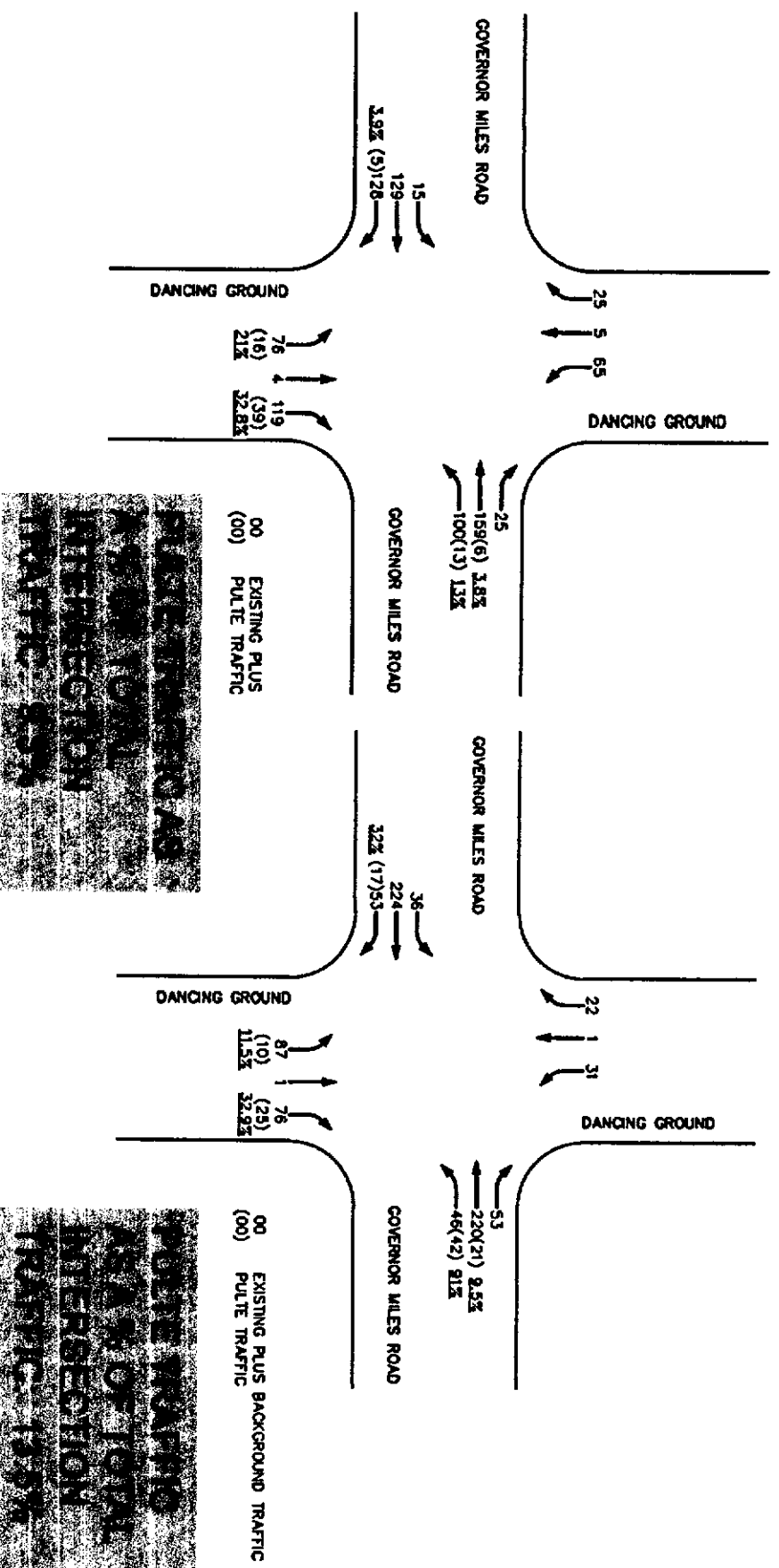
# Location of Walking Rain & Dancing Ground



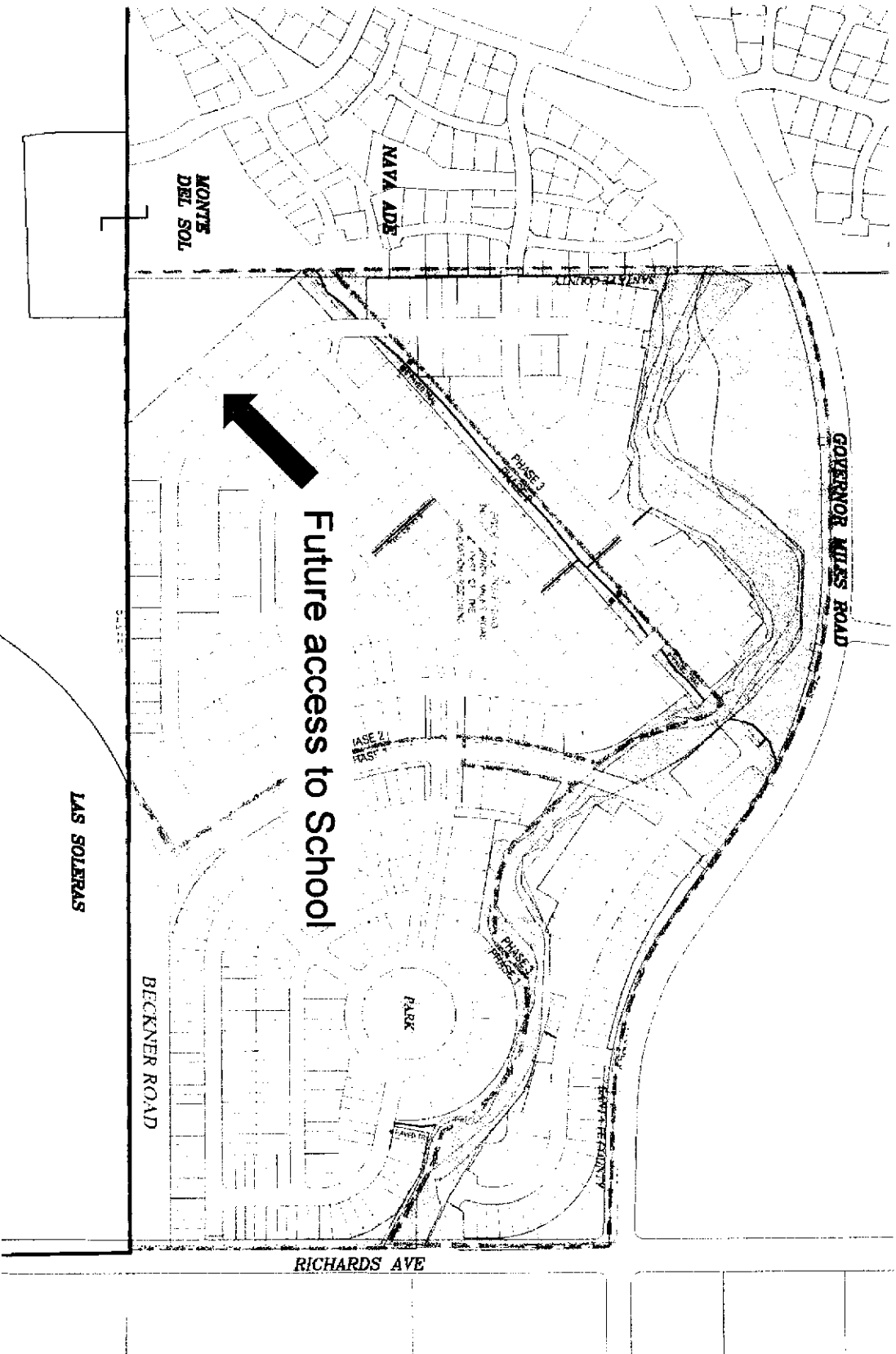
# Traffic increase - Governor Miles & Dancing Ground

2017 AM PEAK

2017 PM PEAK



# Beaty Access

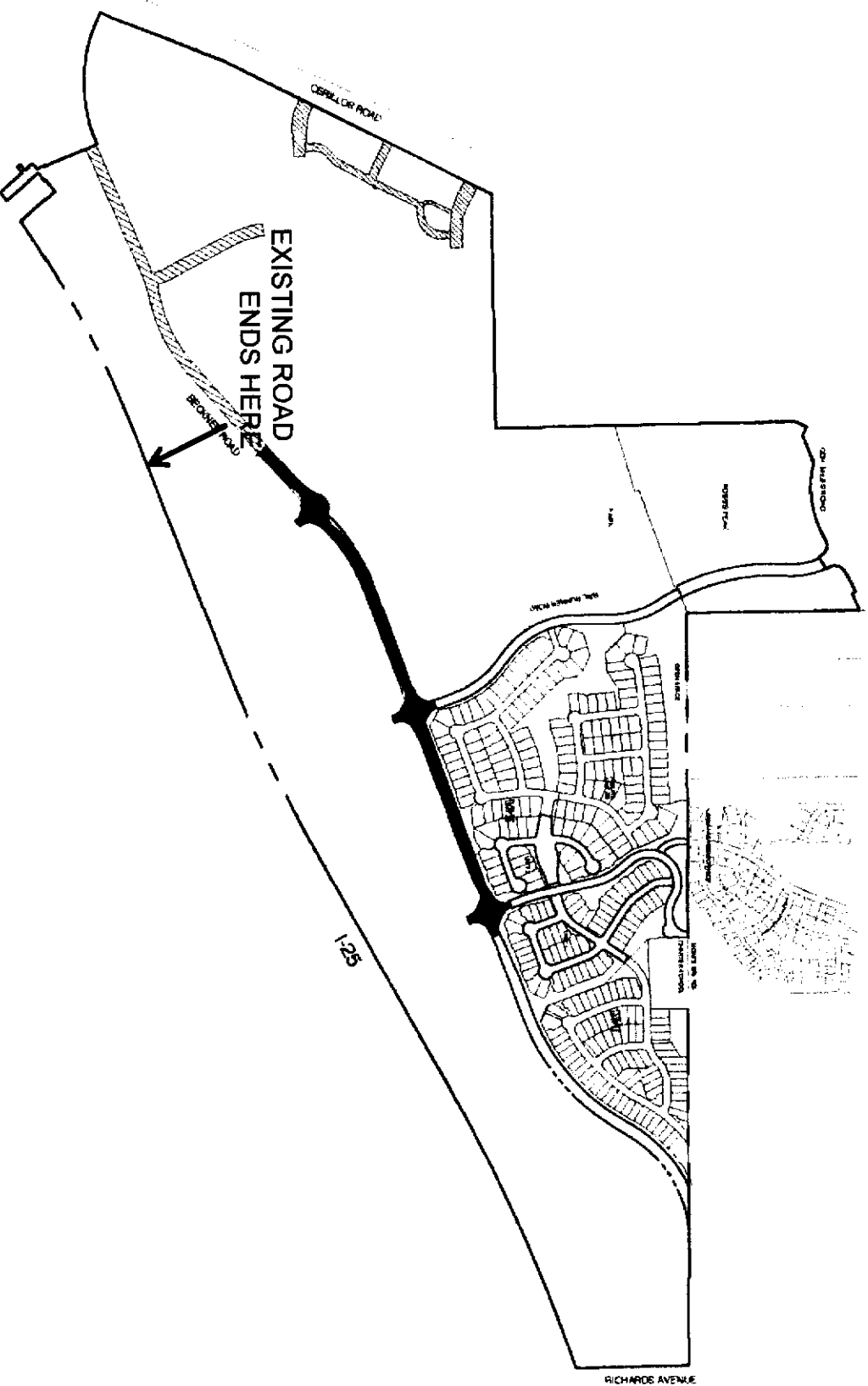


# Access From Dancing Ground

17 HOMES ACCESS FROM DANCING GROUND



# Beckner Completed to Walking Rain with Roundabout at Intersection



# City of Santa Fe, New Mexico

# memo

**DATE:** May 21, 2015

**TO:** Planning Commission

**FROM:** Current Planning Division

**RE:** Additional Information

---

The attached information is not in your May 21, 2015 Planning Commission packet. The information is in the following order:

**Case #2014-124. Pulte Las Soleras General Plan Amendment.**  
**Case #2014-123. Pulte Las Soleras Master Plan Amendment.**  
**Case #2014-125. Pulte Las Soleras Rezoning.**  
**Case #2015-09. Pulte Las Soleras Electrical Transmission Line Relocation.**  
**Case #2014-126. Pulte Las Soleras Lot line Adjustment.**  
**Case #2015-08. Pulte Las Soleras Preliminary Subdivision Plat.**

- May 11, 2015 ENN meeting notes.
- Public comments.
- Parks Division Memorandum from Richard Thompson.

*Exhibit "4"*



## City of Santa Fe Land Use Department Early Neighborhood Notification Meeting Notes

<i>Project Name</i>	Pulte Development
<i>Project Location</i>	Las Soleras
<i>Project Description</i>	20 Acre Park Reduction within Las Soleras
<i>Applicant / Owner</i>	Pulte Homes
<i>Agent</i>	Jim Siebert and Associates
<i>Pre-App Meeting Date</i>	
<i>ENN Meeting Date</i>	5/11/15
<i>ENN Meeting Location</i>	Southside Library
<i>Application Type</i>	Master Plan Amendment
<i>Land Use Staff</i>	Zach Thomas
<i>Attendance</i>	Approx. 55 including applicant, property owner and public

### Notes/Comments:

The meeting started around 5:40 with Mr. Siebert giving an introduction and explaining the format of the meeting.

Mr. Thomas gave an introduction and explained why another ENN was being held. This ENN should focus on the proposed park reduction / relocation.

Mr. Siebert explained and read condition #45.

At this point the projector malfunctioned and the meeting stopped for about 10 minutes until it was fixed.

Mr. Siebert proceeded to explain how the park location was approved and the specifics of the Finding of Fact for the park location approval.

Mr. Siebert explained that Las Soleras initially was planned for approx. 2,100 dwelling units. At this point about 1,000 dwelling units appear likely as market conditions are making the development of single family homes more appealing.

Mr. Siebert explained that per the requirements in the Development Code about 24 acres of park would be required with 1,000 dwelling units.

Mr. Siebert explained the park, open space and school site location being proposed.

Mr. Siebert's presentation was interrupted and the topic switched to the Preliminary Plat.

Question – Why does Pulte insist on not extending Walking Rain straight to Beckner?

Statement – Beckner should be connected to Richards.

- People will cut thru on Dancing Ground
- Dancing Ground should not connect until Beckner connects to Richards.

Statement – We were told that a road would connect the school to Richards.

Kim Willey stood up and stated that the HOA supports the revised park plan and read a statement that supported the concept of moving the park.

General questions and discussion about the park ensued.

Statement from the Monte del Sol School Head Learner – You can't just say that the "market has spoken" in regards to only wanting single family homes. This is not necessarily true. The original plan tried to create a vision that discouraged sprawl.

Statement – The HOA supports lower density and mentioned the variety of parties involved in this development. Stated that City staff drives when and where the roads are built.

Statement – Given that we are not going to solve the roads issue, let's focus on the park issue... There should be a new school.

Mr. Siebert spoke to the existing drainage issues on the site and how the project would improve it.

Mr. Thomas spoke again regarding the process and the different entitlements associated with the project.

Kevin Patton of Pulte Homes spoke about Pulte as a company and the proposed project.

Steve Burns spoke extensively regarding the negative impact of the reduction of park acreage.

After a few more general statements and questions, Mr. Siebert informed the group that the room was only reserved until 7:30. At which point the meeting ended shortly thereafter at approximately 7:30.

**THOMAS, ZACHARY E.**

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**From:** jerry lawlor <gaelrx@msn.com>  
**Sent:** Thursday, May 21, 2015 11:56 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte development plan  
  
**Importance:** High

Dear Sir;

I am a Nava Ade resident and would like to briefly address the Pulte development plan.

While I recognize the benefits of some of this plan, the road realignment and rephrasing part of it are a valid and serious concern.

The road alignment as it now exists allows for only one access and that is thru Nava Ade streets and this poses a serious safety issue for the residents as well the students at Monte del Sol school.

I urge you to recognize this and require the builder to address this before any construction begins.

Thank you for your consideration of this issue.

Jerry Lawlor  
4266 Juniper Hill Lane  
Santa Fe, NM 87507

## THOMAS, ZACHARY E.

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**From:** Barb West <bwest@hoamco.com>  
**Sent:** Thursday, May 21, 2015 12:22 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** FW: Proposal

Zeth,

Please read below.

**BARBARA WEST** | Administrative Assistant

**HOAMCO**

T 505.954.4479, ext. 10 | F 505.954.0018

1421 Luisa Street, Ste. R | Santa Fe, NM 87505

[barbw@hoamco.com](mailto:barbw@hoamco.com) | [HOAMCO.com](http://HOAMCO.com)

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**From:** Jeanne Guy [<mailto:jeanneguy@msn.com>]

**Sent:** Thursday, May 21, 2015 12:05 PM

**To:** Barb West

**Subject:** Proposal

I am not in favor of an "active" park but not against a "passive" park. And I do not want Dancing Ground Road to become a cut-through to the new development, nor a route for equipment during construction. I live on Dancing Ground. Monte del Sol clearly needs another access road like they initially said they would have (a direct route from the school to Governor Miles road). I feel for the people who live on Walking Rain. The traffic is insane. I'm surprised the city allows it. If an ambulance or fire truck needed to get through, they wouldn't be able to.

I think the construction of more homes was, sadly, inevitable. But I would like to see more attention paid to ingress and egress. I love Nava Ade and am firmly planted here. I don't want anything to negatively alter what a wonderful community it is.

I can't attend the meeting tonight as I am not feeling well. Is there an email list that I can use to send my concerns?

Thanks,  
Jeanne Guy

Sent from Windows Mail

**THOMAS, ZACHARY E.**

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**From:** ERNEST F <sanjuan4359@msn.com>  
**Sent:** Wednesday, May 20, 2015 12:43 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte Development

Dear Mr. Thomas:

I am a resident at Nava Ade and am writing regarding the proposed development by Pulte on part of the Solares Parcel. While I welcome the changes that Pulte has made to propose a lower housing density and higher end homes, I have concerns with the potential traffic impacts on Governor Miles if an alternative route is not used.

When we purchased our home in 1999 we were not informed by Gerber that Governor Miles was going to be connected to Cerrillos. When this occurred, we began to experience more difficulty entering Governor Miles due to increased traffic. I live close to Waking Sky and it currently takes me 5 minutes to make a left turn onto Governor Miles in the morning due to traffic levels coming from Cerrillos Rd.

Adding traffic from a new development will only make accessing Governor miles from the north side of Nava Ade more difficult. Please consider using another path to connect the Pulte development to Cerrillos Rd and Richards Avenue. Thank you.

Ramona Flores-Lopez  
4359 Lost Feather Rd  
Santa Fe NM 87507

## THOMAS, ZACHARY E.

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**From:** Liz VanDenzen <lizvandenzen@gmail.com>  
**Sent:** Wednesday, May 20, 2015 7:15 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Comments on Pulte development in Las Soleras

I am a resident of the southside of the Nava Ade subdivision, relatively close to Monte del Sol Charter School.

- Beckner Rd. must be completed as part of Phase 1.
- Dancing Ground should not be connected to Beckner Rd.
- Monte del Sol needs at least one field directly adjacent to the school. The full changes suggested by Pulte should not be accepted without modification.

There must be a second access road to Monte del Sol that doesn't involve Dancing Ground Rd. It is next to impossible to get in and out of the neighborhood during the morning and afternoon hours when school is starting or letting out. In order to ensure this, Beckner Road must be completed all the way to Richards BEFORE any building or development moves forward by Pulte as part of their Phase 1 plan. If public safety officials feel Dancing Ground is needed for emergency access, it should have some sort of a crash through gate that can only be used by emergency vehicles and NOT allow through traffic.

In addition, Rail Runner Road should be completed through to Beckner Road from Governor Miles before Phase 1 begins.

The intersection of Dancing Ground and Governor Miles needs a 4-way stop or other traffic control. In addition, there needs to be designated crosswalk across Governor Miles at Dancing Ground - students and other pedestrians are often dodging vehicles to cross the street and get to the bus stop of the other side of the street.

I do not fully support the changes to the open space/park plans from the original master plan. Monte del Sol is an important part of our community and they need quick and easy access to active play fields. They need something located directly adjacent to the school. As the changes are outlined, Monte del Sol will essentially become "landlocked" - surrounded on all sides by houses. Perhaps the majority of the active parks could be in the new location with one field adjacent to the school.

As for the development itself, I do not support allowing the "age-targeted" development being a gated community. That is not open or neighborly or conducive to a community atmosphere. I would prefer higher density homes on smaller lots with more open space. We should be forward thinking about our development in Santa Fe and not just looking for what "the market wants right now."

Finally, I have been very disappointed in the communications, materials and presentation by James Siebert and Associates on behalf of Pulte homes. The first meeting location was too small and parking was very limited due to construction at Genoveva Chavez. The second location was extremely difficult to find within the library and then the presentation itself wouldn't actually work. At both locations, it was difficult to see the maps and plans. At the 2nd meeting, they said if an email address had been provided on the sign in sheet, the materials would be sent to us. I have never received any detailed plans, maps or plats from which i can get a better sense of the overall development. The "map" that was included in the mailing was pretty much useless and contained not details about the changes to the master plan, the street changes, access to Monte del Sol or changes to the open space/parks within the development. Furthermore, having the meetings begin at 5:30 made them extremely

difficult for anyone working full time to get to. I don't understand why the meetings weren't held at Monte del Sol so more residents who would be impacted by this development could easily attend.

Please accept these comments and make them part of the official record for the May 21 Planning Commission meeting. I am unable to attend due to a previously scheduled vacation around the Memorial Day weekend.

Sincerely,

Elizabeth VanDenzen  
4444 Autumn Leaf Lane  
Santa Fe, NM 87507  
(505) 204-6658

## **THOMAS, ZACHARY E.**

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**From:** Ellen Buselli <ebuselli@aol.com>  
**Sent:** Thursday, May 21, 2015 5:54 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Fwd: PULTE PLAN south of NAVA ADE, Meeting May 21, 2015 City Hall

Hello Mr. Thomas:  
Forwarding this to you again with Title,,,,  
Please include in the record, and for comments for this evenings meeting..  
Ellen Buselli

-----Original Message-----

**From:** Ellen Buselli <ebuselli@aol.com>  
**To:** zethomas <zethomas@ci.santa-fe.nm.us>  
**Cc:** richinsf <richinsf@comcast.net>; kswiley <kswiley@hotmail.com>  
**Sent:** Wed, May 20, 2015 9:33 pm

### **To Mr. Zack Thomas, Land Use Senior Planner - City of Santa Fe Land Use Department:**

As a Nave Ade homeowner on Dancing Ground, I am writing again to express my concerns for the Los Soleras development area bordering Nava Ade. I have written many times to express my opinion on these matters.

I am not able to attend the ENN meeting on Thursday, May 21 at City Hall to discuss the Pulte Plan, the open space that is being proposed, and other issues that threaten the Nava Ade community, and so I am sending these comments for the record.

1. The issue concerning the 20 acre active regional park with "sports fields" near the Monte del Sol Charter School and on Nava Ade's southern boundary and how it will be allocated is of serious concern to me as a home owner in Nave Ade. I had been under the impression previously that this park was a landscaped open space to be used in a quiet manner with walking trails and beautiful natural terrain that would maintain and increase the quality of life in Nave Ade.

**Instead, I have learned that it is a recreational regional games park that includes "sports fields". This type of park changes the situation dramatically, and it will create hazardous and overwhelming traffic and overwhelming noise problems in our small community especially on Dancing Ground.**

This type of active park would increase the traffic and noise levels on Dancing Ground and Walking Rain during the day, evening and weekend. These small roads are already overburdened with the traffic created just from the regular commuting of students and teachers from the Monte Del Sol Charter School. There have been numerous traffic accidents on Dancing Ground/Walking Rain with cars and school buses because the roads cannot handle this type of traffic. The use of the 20 acre park as a regional games park with "sports fields" will create a serious and unsafe community traffic and noise problem for the Nave Ade residents. The Nave Ade community was not designed to handle this type of traffic and use. The idea of having this park so close to the community is absolutely frightening.

I am in agreement with the Nave Ade HOA Board Position/and new Pulte revised Plan to reallocate the use of this 20 acre to an area that is not near our border, and instead have a 5.74 acre landscaped park near the Nave Ade community that is a "passive park" with walking trails, benches and natural scenery. This will not increase the traffic on our streets, particularly Dancing Ground and Walking Rain. This type of park will maintain the quiet quality of live of the Nava Ade community.

2. The issue of Dancing Ground being a direct link to Beckner Road is unacceptable, and frightening. In the original 2010 plan, Dancing Ground was a side road that bended at an angle into

another road and was not a direct link to Beckner. Dancing Ground road is not made to be a major thoroughfare for this area. Dancing Ground needs to remain a side road, not a direct link to Beckner. Otherwise, the traffic and noise will be overwhelming for this small Nave Ade community. With the addition of the Las Soleras/Pulte community, the roads need to be designed to keep all traffic at a minimum for both communities.

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3. Issue of having a direct road from Beckner or from Richards to the Monte Del Sol School is essential to the well-being of the Nave Ade community. The current Pulte Plan does not help this situation at all and continues to use Dancing Ground and Walking Rain as the main ways to get to/from the School. This unacceptable, and the traffic and noise problems that are occurring now will be just as bad if not worse, and will escalate as more families and homes are in the area. The direct road to the school from Beckner or Richards must be built for this area. Another road to get to the Monte Del Sol school is desperately needed to help Nava Ade restore its quality of life.

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4. The issue of not having a road from Beckner or from Richards to the Pulte development while it is being built is completely unacceptable. This new alternative road from Beckner or Richards needs to be built first. The use of Dancing Ground as the road for all traffic is unacceptable, dangerous, and overwhelming to the community and especially those living on Dancing Ground. The alternative road from Beckner or Richards must be built first, and then can be later used as a permanent road to get to/from the Monte del Sol School.

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Please include my comments for the record. Thank you for the opportunity to voice my concerns, and to help maintain the quality of life in our wonderful Nava Ade community.

Best regards.

Ellen Buselli  
Nava Ade Homeowner, Dancing Ground Road, Santa Fe, NM  
May 20, 2015

**THOMAS, ZACHARY E.**

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**From:** jeanne roblyer <jroblyer@hotmail.com>  
**Sent:** Tuesday, May 19, 2015 3:41 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte and Las Soleras

Hello,

I'm not sure if I will be able to attend or not. At the first meeting, in Nov., I questioned where the water would be acquired. I was given a 'non-answer' stating that they had already arranged to get the water from the Rio Grande. We are in a drought as is the Rio. Water levels are down there, too. Aside from that, Centrex, a lower value home and division of Pulte is right next to us. If Pulte does not come in more low income housing will be put in to lower our property values, because houses will be built. I guess it is a choice (that has already been made) between evils. So, if I must choose, I guess I choose Pulte homes over Centrex homes.

Jeanne Roblyer  
Nava Ade Resident

"Poor New Mexico, I So far from heaven, So close to Texas!" Gov. Manuel Armijo

**THOMAS, ZACHARY E.**

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**From:** Joe Edwin Jones DDS <jejonesdds1@gmail.com>  
**Sent:** Tuesday, May 19, 2015 4:58 PM  
**To:** THOMAS, ZACHARY E.; THOMAS, ZACHARY E.  
**Subject:** Pulte Los Soleras Development Proposal

Mr. Thomas,

I am a resident of the Nava Ade' subdivision. I am writing that you might put my comments in the Public Record and have them sent to the City officials who have a say on the Planning Commission. Specifically, my home is on Soaring Eagle Ln, which will directly border the Pulte development. In Pulte's original Annexation Plan, a 20 acre park was proposed bordering the south side of Nava Ade' in order to provide a buffer zone between the Pulte development and Nava Ade' residents' whose homes are on Soaring Eagle Ln and on Howling Wolf Ln. For some reason, known only to Pulte, and perhaps the City, that proposed park has now been moved away from our border, with no buffer zone being provided. For some reason, the Nava Ade' board is in support of this change. However, I would like for the record to reflect that I do not support this change, and wish for the original plan for the park location be adhered to by Pulte. I am also concerned about the lack of any traffic relief on Dancing Ground and Walking Rain. There is already quite a bit of traffic on these two residential streets when the Monte del Sol Charter School is in session. If Dancing Ground is eventually extended into the Pulte development with no other streets being constructed for traffic relief, the extra traffic in the immediate area of my neighborhood will be a nightmare.

Thank you,

Joe Edwin Jones DDS  
4149 Soaring Eagle Ln  
Santa Fe, NM 87507  
[jejonesdds1@gmail.com](mailto:jejonesdds1@gmail.com)

## THOMAS, ZACHARY E.

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**From:** Faith Reyes <FReyes@simonsfirm.com>  
**Sent:** Tuesday, May 19, 2015 8:36 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte Las Soleras Development

Dear Mr. Thomas,

Please accept this email as my comments with regard to the proposed Pulte Las Soleras Development. I live just off of Dancing Ground in the area immediately adjacent to the proposed development. I have always found it disconcerting that there is, at present, only one entrance/exit to this part of the Nava Ade subdivision. I do not believe it is appropriate to approve a new development of the density of Las Soleras without requiring that developer to expend the funds necessary to have its own major means of ingress, egress, and access to the neighborhood, through its own rights of way, and not with a main artery through Nava Ade. Walking Rain is a small densely populated street; Dancing Ground is just a bit larger. Walking Rain in particular was not developed with the idea that it would become a major artery serving a neighboring development. Further, it can already be dangerous to cross or enter Dancing Ground, particularly when Monte del Sol is in session.

Further, our subdivision is responsible for such items as snow removal and other types of maintenance (such as replacement or repair of street lamps, trees, and signs which have been hit by vehicles on Dancing Ground many times). It does not seem appropriate that we be taxed with this responsibility on behalf of other users. We reside in a small, compact neighborhood that prides itself on its streetscape and walkability. Using Nava Ade's streets as a funnel for traffic from a large subdivision next door should not be permitted. Instead, the City should require Pulte to construct its own access to Governor Miles and/or other major arteries rather than enabling access through Nava Ade. The impact on Las Soleras of imposing the normal requirement of access to a main artery through its own property is a normal development cost. By contrast, the impact upon imposing on Nava Ade homeowners and residents the traffic volumes to be created by Las Soleras will be substantial. Certainly, before developing such a project, Pulte understood the applicable land use requirements, including the need to establish rights of way allowing ingress, egress and access directly to appropriate arteries rather than through small, quiet neighboring communities.

We also have concerns about how emergency vehicles will be able to get into, and out of, Nava Ade in an expeditious manner, given the restrictive entrance/exit from Dancing Ground to Gov. Miles and the traffic study showing a several hundred percent increase in use of this narrow access.

In the event such access is permitted, what measures will the City impose to ensure speed limits are observed, discourage use of our community for through traffic, and mitigate traffic during rush hours, school hours, and the like? Further, currently there are no bike lanes on Dancing Ground or Walking Rain, which – combined with the significant additional traffic and already narrow roadways – creates a significant hazard for cyclists, including the students who attend Monte del Sol. Will the City require the addition of speed bumps, the addition of bike lanes, and other traffic control/calming devices? Certainly, the roads as they currently exist cannot support this significant increase in use and traffic.

Further, parking is already limited in Nava Ade. It is permitted on Dancing Ground; the combination of parked vehicles, use of the road (in the absence of bike lanes) by cyclists, and the additional traffic is a recipe for disaster were the City to allow the proposed use of Walking Rain/Dancing Ground in their current condition.

Therefore, we request any subdivision master plan or plat approval be conditioned upon Las Soleras providing access directly to Governor Miles or another major right of way, rather than through Nava Ade. Or, in the event the City is not inclined to require the same access to Gov. Miles of Las Soleras that it required of Nava Ade, the City must take all

appropriate affirmative actions to ensure the safety and quiet enjoyment of the streets that will be subject to this significantly increased traffic.

Please confirm that my comments will be entered in the record, will be addressed prior to City Council consideration of the project, and that the City responses will be available for public review prior to City Council action.

Thank you for your consideration in this regard.

Faith Reyes  
(4401 Long Shadow Lane, 87507)

Faith Kalman Reyes  
The Simons Firm, LLP  
P.O. Box 5333  
Santa Fe, NM 87502-5333  
[freyes@simonsfirm.com](mailto:freyes@simonsfirm.com)  
(505) 992-9508 (direct dial)  
(505) 988-5600 (general)

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**THOMAS, ZACHARY E.**

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**From:** Ava <avabrenner@comcast.net>  
**Sent:** Tuesday, May 19, 2015 2:24 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte development proposal

Dear Zach Thomas,

Kindly add my comments to the public record and provide them to city officials. They are as follows:

My husband and I have lived in Nava Ade since December of 1999. During that time the community has grown and flourished, attracting a broad range of individuals and families. We love this community and welcomed the Charter School with the expectation that it would add to the education and well being of all of Santa Fe.

What we did not anticipate was that the traffic to and from the school might someday, inadvertently, jeopardize the safety and well being of the residents living on the south end of the community. During the school year the traffic, at the start and end of the school day, ties up our little 2 lane road all the way to Governor Miles and makes it difficult to enter or leave our side of the community. There is only one way in and out, and that is on Dancing Ground.

I understand that there are no immanent plans to connect Bechner Rd to Richards Ave. nor competing Rail Runner Rd. both of which would offer alternate routes in and out. Unless this is done, that still leaves only one way in or out of this end of Nava Ade; Dancing Ground.

I am very bothered by this short sightedness on the part of whomever is in charge of this decision. My concern, as a nearly 70 year old woman, is that the added traffic coming from Pulte's development, could jeopardize life and safety. Not just mine, but that of any of my neighbors on the south side of Governor Miles. All it would take is to have an emergency, at the wrong time of the day, and tragedy could result.

From what I have come to understand of Pulte's development plans, it could become another lovely neighborhood. But, and it's a big but...not without proper consideration to adding other ways in and out other than using Dancing Ground to Governor Miles.

Sincerely,  
Ava Brenner  
Resident Nava Ada

## **THOMAS, ZACHARY E.**

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**From:** FCPearson <fredpearson@att.net>  
**Sent:** Thursday, May 14, 2015 2:02 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** PulteGroup Proposed Las Soleras General Plan Amendments and Subdivision Plan

Zach,

Please include my comments below in the Agenda Package provided to Planning Commission Members in advance of the May 21, 2015 meeting. Thank you very much.

May 14, 2015

**To:** City of Santa Fe Planning Commission  
**Re:** PulteGroup Proposed Las Soleras General Plan Amendments and Subdivision Plan

Honorable Planning Commission Members,

Thank you for the opportunity to comment on this project of great significance to the City of Santa Fe and to the Southside in particular. I wish to have my comments included in the Agenda Package provided to Planning Commission members in advance of the May 21, 2015 Meeting.

I enthusiastically support the residential density reductions and park location changes proposed in the PulteGroup proposed Los Soleras General Plan Amendments. However, as a Nava Adé resident and retired transportation planner and traffic engineer, I have serious concerns regarding the Pulte project's potential to encourage regional through traffic short-cutting through Nava Adé on Dancing Ground Road before Beckner Road is extended to Richards Avenue.

City staff have assured us that no significant amount of regional through traffic will be imposed on Nava Adé as a result of Pulte Phase 1 street connections to Dancing Ground Road, providing an access (the only access) from Beckner Road to Governor Miles Road via Dancing Ground Road. However, the Pulte Traffic Impact Analysis (TIA) indicates otherwise. Dated April 15, 2015, the Pulte Traffic Impact Study forecasts a 770 percent traffic increase on Dancing Ground Road by 2017, apparently attributable mostly to an additional 300 vehicles per PM peak-hour of regional through traffic. This magnitude of additional regional through traffic would severely negatively impact Nava Adé residents living on this narrow local street, many of whom would have to back out of their driveways into traffic.

Since the Pulte Traffic Impact Study provides the only documented estimate of 2017 traffic volumes, I request that any Planning Commission approval of the Pulte project be predicated on meeting the following conditions:

1. That no street connections from Beckner Road to Dancing Ground Road or Walking Rain Road permitting through traffic be constructed until Beckner Road is connected to Richards Avenue.
2. Rail Runner Road be constructed from Beckner Road to the existing roundabout on Governor Miles Road, concurrently with the Phase 1 Pulte development to provide a second access-egress route for residents of the Pulte project.
3. That the Pulte project be required to fund the construction of a single lane roundabout at the intersection of Governor Miles Road and Dancing Ground Road, subject to Nava Adé approval, to address peak period traffic congestion on Dancing Ground Road.

Thank you for carefully considering the needs of Nava Adé residents as you review the PulteGroup's proposed Las Soleras General Plan Amendments and Subdivision Plan.

Fred Pearson  
4121 New Moon Circle  
Santa Fe, New Mexico 87507

**THOMAS, ZACHARY E.**

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**From:** AJ T <newmexikid@msn.com>  
**Sent:** Thursday, May 14, 2015 8:05 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pubic Comment for your consideration

Mr. Thomas:

As a resident of Nava Ade for over 15 years, I am concerned about the increased traffic and usage of the small residential roads that are slated to be used for the construction of the Pulte Homes development adjacent to the Nava Ade subdivision. Already there are terrible traffic issues and congestion due to the Monte del Sol Charter School and the 4,000+ cars a day that race through Gov. Miles drive between Richards and Cerrillos road. There is a two way stop at Governor Miles and Dancing Ground that is truly impossible to navigate during school start and school dismissal times. The Nava Ade community is a covenant controlled community that is maintained primarily by homeowners' dues. Please consider alternate routes for construction vehicles and for future residents of the Pulte homes development to access - such as Cerrillos or off Herrerra Drive. Possibly a by-pass concept the comes in off Richards road would also be an option. Thank you for your consideration.

**THOMAS, ZACHARY E.**

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**From:** Mareta Bell <mareta@q.com>  
**Sent:** Monday, May 18, 2015 1:03 PM  
**To:** THOMAS, ZACHARY E.  
**Subject:** RE: Pulte proposal

Good Day, I am writing to express my concern over the plans of construction route through the community of Nava Ade' where I have been a resident for 14 years. Since your opinions are based on paper and not the reality of heavy traffic 2 x's daily with the school's influx of driving students, I believe you simply do not realize that more traffic will exacerbate an already existing hazard for those of us who live and work out of our homes, and I am one of those. It's a nightmare if you need to drive out to Governor Miles road, as well as the danger from these inexperienced young drivers, and there is always a huge JAM with the normal traffic on Governor Miles. If there ever was an emergency evacuation during these hours, it would be disaster indeed! I've never understood why the school does not have access either from Richards Road or Cerrillos Rd. Especially since the roads have already been created, prematurely for the other construction existing. So, I implore you, I pray that others who live in this area are expressing their concern, to please consider the implications from those of us who have been dealing with severity of traffic congestion since the Monte del School opened. I ask that you present this request, not for the benefit of the builders, but for the benefit and safety of the homeowners who live in this high congestive traffic area. I thank you for your support, and trust that quality will override quantity here and now. Sincerely, Mareta Bell

## THOMAS, ZACHARY E.

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**From:** James Ransom <jransom@haverford.edu>  
**Sent:** Saturday, May 16, 2015 6:58 AM  
**To:** THOMAS, ZACHARY E.  
**Subject:** Pulte Proposal for Development in Las Soleras

I am a Nava Ade homeowner residing at 4263 River Song Lane. This memo should be read as an addendum to the memo I wrote at the time of the December 16, 2014 ENN Meeting for the Pulte proposal.

While I in general support Pulte's proposal as presented at the May 11 ENN, I want to reiterate the concerns I expressed in my earlier memo about unacceptable traffic through our residential neighborhoods along Governor Miles between Cerrillos and Richards. As explained in my previous memo, unless both Railrunner Road between Governor Miles and Beckner and the extension of Beckner through to Richards are completed as part of Phase 1 of the Pulte project, already grave traffic problems in our neighborhoods along Governor Miles will become intolerable. And I continue to urge that steps be taken to insure that traffic along Governor Miles does not exceed a 25mph speed limit and that 4-way stops be installed at the intersections of Governor Miles with Dancing Ground and with Rising Sun.

I also want to express my support for Pulte's proposal to relocate the regional active park to the west of their development rather than directly to the south of Nava Ade. Such a large and active park directly to the south of Nava Ade would bring even more traffic to our already stressed neighborhood. Pulte's proposed location would make the park accessible directly from Cerrillos along Las Soleras Drive without traffic having to use any residential streets.

Again, I support Pulte's proposal as a welcome addition to Las Soleras, adding to the diversity of our southside neighborhoods. My only concern is that the proper steps be taken to insure that the residential neighborhoods along Governor Miles not be further overwhelmed by non-local traffic.

James Ransom  
4263 River Song Lane  
May 15, 2015

It is evident that a park of this size located directly south of Nava Ade would force Pulte to withdraw their proposal and thus our neighborhood would lose a welcome addition to the mix of properties located in Las Soleras

# City of Santa Fe, New Mexico

# memo

**DATE:** May 21, 2015

**TO:** Zach Thomas, Land Use Senior Planner

**VIA:** Rob Carter, Director, Parks & Recreation Department

**FROM:** Richard C. Thompson,  
Division Director, Parks, Trails and Open Spaces

**SUBJECT:** Consideration of Park Proposal – Las Soleras 5-1-15

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## SUMMARY:

**Condition #45 states as follows:**

*"The applicant shall, in consultation with the Santa Fe Public Schools and City staff, locate an additional 20 acres for active park space. This condition shall be incorporated into the annexation agreement. The planning Commission shall approve the park location to the approval of a development plan for any phase of the project and shall verify compliance with the applicable access standards to the parks and open space."*

## CONDITIONS:

As the Designer and Representative for the applicant has offered an alternative solution for Parks Staff review, we express that the acreage offers utility to the Department for development as a Regional Park, with open space adequate for construction of access, parking and sports fields. We accept the proposal subject to an offer from the applicant to provide an additional ten acres to the Santa Fe Public Schools for their purposes; and, subject to their approval and acceptance of such acreage.

Cc: Parks Division File

**SUMMARY OF UNDEVELOPED HIGH-DENSITY RESIDENTIAL PARCELS  
(2/7/15)**

PARCEL	SIZE (acres)	MAXIMUM DENSITY	NO. of UNITS	DISTANCE TO COMM'L.	DISTANCE TO DOWN- TOWN (miles)	
<b>Tierra Contenta</b>						
Tract 48	5.80		99	0.33		Remaining vacant parcels in
Tract 50	7.30		124	0.15		Phases 3-4. Maximum density
Tract 60	7.70		131	0.05		28 du/ac, average density
Tract 63	6.80		102	0.05		17 du/ac
Tract 68	6.60		119	0.05		
Tract 70	4.50		72	0.05		
<b>TC Subtotals</b>	38.70		647		+/- 7	
<b>Wagon Road R- 21-PUD</b>	14.12	21	296	0.05	5.30	Across Wagon Rd. from SF Place Mall
<b>Las Estrellas Tract</b>	12.99		157	0.05	2.50	Formerly Santa Fe Estates
<b>Las Soleras R- 21 Tracts</b>	45.22	21	950	.05 to .25	6.80	Near Beckner Rd. west of Cerrillos Rd.
<b>City of SF NW Quadrant</b>	Unk.	Unk.	Unk.	Unk.	+/- 3	Data not available 02/07/2015
<b>CITYWIDE TOTALS</b>	111.03		2050.21			
<b>BLUE BUFFALO</b>	16.53	29	450	0.6	2.71	

*Exhibit "5"*

*Kim Thylie*

**Nava Adé HOA Board of Directors Statement:  
Planning Commission  
Thursday, May 21, 2015**

**1. Introductions:**

- Kimberly Wiley, President
- Richard Lange, Consultant to NAHOA Board, and Chair of the Nava Adé HOA Committee of Las Soleras 2001-2008
- Dorothy Seaton, Vice President
- Diane Finley, Treasurer
- Frank Nordstrum, Director
- Beverly Jimmerson, Director
- Isabelle Sandoval, Director
- Kathy McGee, Secretary
- Fred Pearson, Consultant to NAHOA Board

Thank you for the opportunity to present our perspective on these cases before you.

**2. Background:**

For the past six months, the Nava Adé Board has been involved in researching, discussing, and formulating our response to the proposed development. We have:

- Met with Pulte executives, staff and consultants and toured two Pulte communities in New Mexico, similar to what is proposed for Las Soleras.
- We have met several times with Land Use, Transportation, and other City staff to seek clarification and guidance.
- We have received technical assistance in formulating our position from Richard Lange, former Chair of the Nava Adé HOA Committee on Las Soleras 2001-2008, and Fred Pearson, retired transportation planner and traffic engineer. Both are Nava Adé residents.
- We have also received input from our HOA members at meetings in December and March, email exchanges, and telephone and face-to-face conversations, and kept them informed of our findings in these venues, as well as in additional mailings.

- 3. Nava Adé Board Position:** While our opinion does not reflect the unanimous view of all 465 HOA members, it is the **unanimous** view of the Board. We are the elected representatives of the HOA, and our view is shared by many of our members, some of whom are here tonight.

The Board supports Pulte's **revised** plan for the following reasons:

1. **Developer reputation and stability:** Pulte has a long-established national presence. Pulte is listed on the NYSE and has the means to realize their proposed plan, regardless of economic trends, as evidenced by their continued construction of Loma

Statement from Nava Adé HOA Board of Directors  
May 21, 2015

*Exhibit "6"*

Colorado in Rio Rancho during the 2008-2009 economic crisis, without a reduction in price (and corresponding reduction in quality) of the homes.

2. **The quality and price points of proposed construction:** The proposed homes are well-designed and built. We have visited two developments in New Mexico and have seen the quality of the homes and the maintenance of the communities. We believe that the addition of the Pulte subdivision will help Nava Adé maintain our housing values and result in favorable comparisons when selling our homes.
3. **Low-density rezoning request:** We appreciate and value a density similar to ours on our border for both aesthetic and practical reasons. Quality of life is very valuable to our residents, who spend much of their time at home: daytime AND evenings, weekdays AND weekends, throughout the year. Our neighborhood streets are already overwhelmed with traffic during the school year, as currently they provide the sole ingress and egress for Monte del Sol Charter School, but will also have to provide connectivity to Las Soleras. A low density subdivision will add the least amount of additional traffic to our streets.

Moreover, as shown on the attached 2003 General Plan, Low Density Residential totaled approximately 59 acres, or over double that of the current General Plan, and High Density Residential was 39 acres. This was changed in the 2009 General Plan to 22 and 44 acres respectively to support a transit-oriented development. However, this design is predicated on a rail station being built there, as well as a state office superplex – and in the intervening 5+ years, there are no plans, commitments, nor promises for either. We believe that rezoning approximately 32 acres (less than 6% of Las Soleras): 13 acres of High Density, 15 acres of Mixed Used, and 4 acres of Medium Density to Low Density Residential **does not** materially impair the vision of Las Soleras as a diversified community containing work, commercial, institutional, and residential structures. Nor does the proposed 6% change adversely impact the plan for a Transit Oriented Development were a train stop and state office superplex to come to fruition.

4. **Active parkland distribution, away from residential borders:** Our main concern about the proposed development has always centered around increased traffic on Dancing Ground, a residential street – the driveways for 19 homes are on Dancing Ground. It is already overwhelmed twice daily by school-related traffic. A 20-acre active park on our border, accessible through Dancing Ground and the Walking Rain extension, would add to that burden by increasing daytime, evening, and weekend traffic. Nava Adé was not planned, designed, and built, nor homes purchased with an understanding that there would be a 20-acre active park on our southern border. In 2001, the active park was sited along I-25 and an institutional tract, and the 2003 General Plan shows this. Moreover, the current Master Plan (dated 1/15/10), given

to us last fall by Land Use, contains no such entity – unlike Exhibit D, what we received showed only the 5.72-acre open space to the immediate west of Monte del Sol Charter School. We understand why the school and its advocates support the placement of the 20-acre Active Park there, but for the most part, they are not residents – here 7x24 throughout the year. And it is not an all or nothing proposition for the school. The revised plan contains a 7-acre Active Park with a soccer field that Pulte has offered to construct for them, including the connecting 1600 ft path (which is less than 1/3 of a mile: a 5-minute walk or 3-minute jog). We believe that this is a reasonable compromise. In addition, the relocation of the Active Park to adjoin the planned 21 acre park, and accessible via Cerrillos and Las Soleras Drive, make it more accessible to the entire southside and four area public schools, as a **regional** park should be.

Moreover, in addition to the 7-acre active park, Pulte has added almost 13 acres of landscaped open space, much of it along our southern border, as well as a proposed contribution of 11 acres for a future school site. We believe that this 31-acres: 20 acres of combined active park/open space, and 11 acres for a potential future school, more than offsets a 20-acre active park, and that the location of these parcels is more suitable for neighboring residents.

5. **Cooperation with addressing our concerns:** Following feedback from the December ENN meeting, Pulte revised their plan to include a landscaped park along our entire southern border, augmenting the 5.72 acres of open space shown on the current Master Plan (dated 1/15/10). Pulte also revised the road plan so that Dancing Ground no longer directly connects to Beckner, in an effort to lessen regional cut-through traffic. They have also designed grading and drainage, so that run-off is directed away from Nava Adé and into shallow drainage ponds, which will provide water and a greenway and an attractive habitat for birds and other wildlife.

Certainly, there remain concerns about the road realignment and opposition to road-phasing plans, as detailed in our submittal. We also made some recommendations to address these issues. Briefly, they are:

1. Require an expanded 2017 traffic analysis, which:
  - explicitly compares Dancing Ground traffic impacts both with and without Beckner Road extended to Richards Avenue, and
  - addresses non-major intersection traffic and driveway impacts for local residents along Dancing Ground Road.
2. Require that Beckner be connected to Richards Avenue (per Condition #46 objectives) at the onset of Pulte Phase-1 construction.
3. Delay connecting Dancing Ground and Walking Rain to Beckner, until Beckner is connected to Richards Avenue, in order to prevent their functioning as the annexed

*area's sole arterial access between Governor Miles and Beckner.*

4. Require a traffic circle or 4-way stop signs be installed at the intersection of Governor Miles and Dancing Ground, before Dancing Ground and Walking Rain are connected to Beckner.
5. Require that Rail Runner be fully constructed to connect Governor Miles and Beckner to provide the requisite second arterial connection between them for Pulte's development.

Thank you for the opportunity to present our perspective on these cases before you.

# LAS SOLERAS GENERAL PLAN / 2003

JAGUAR DRIVE

CERRILLOS RD.

INTERSTATE 25

- Commercial & Other**
  - Regional Comm.
  - Community Comm.
  - Neighborhood Comm.
  - Mixed Use
  - Business Park
  - Office
  - Institutional
  - Parks & Open Space
- Residential**
  - Low Density
  - Medium Density
  - High Density
- Open Space**
- Parks**

Color & Legend added by  
NAHOA to the plan provided  
by:

JAMES W. SIEBERT  
and ASSOCIATES, INC.

LAS SOLERAS

2002 GENERAL PLAN  
AMENDMENT MAP  
AS APPROVED BY  
CITY COUNCIL

DATE 11-1-02	BY JWS	DATE 11-1-02	BY JWS
DATE 11-1-02	BY JWS	DATE 11-1-02	BY JWS
DATE 11-1-02	BY JWS	DATE 11-1-02	BY JWS

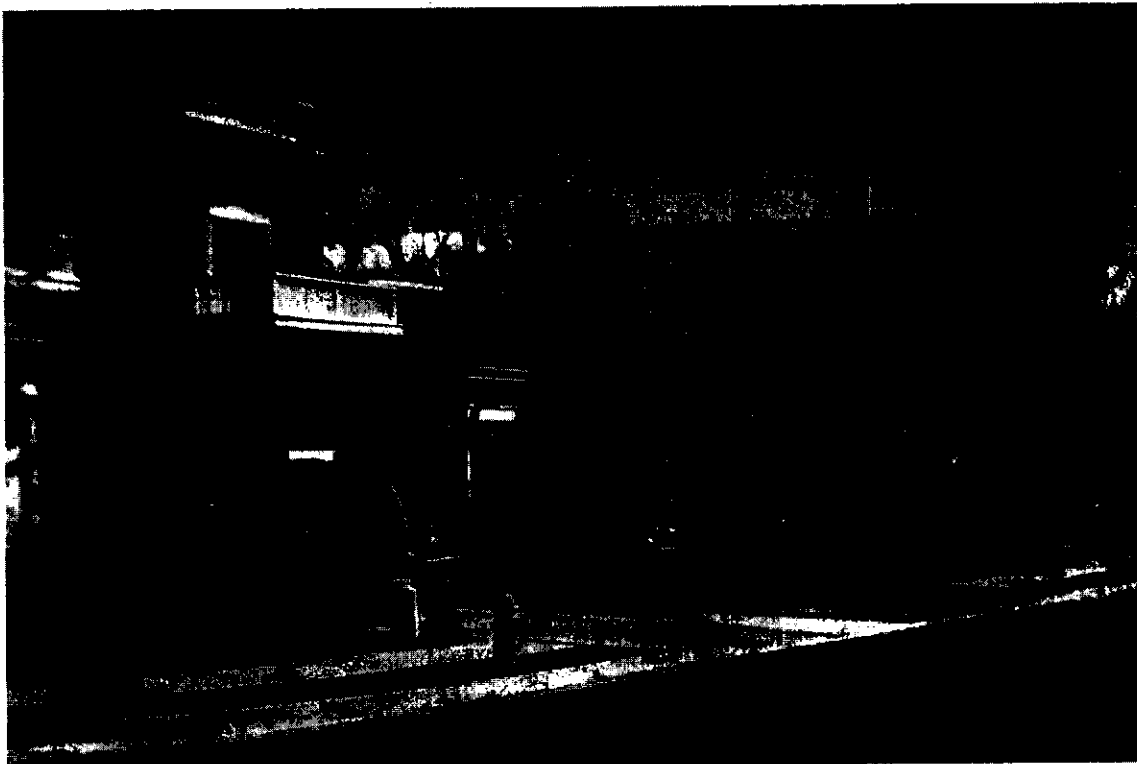
P-9

\*Original, in it's entirety, is available  
in the Clerk's office.\*

**Nava Adé Homeowners Association  
Board of Directors**

**Response to PulteGroup's Proposed  
Las Soleras General Plan Amendments  
and Subdivision Plan**

**May 2015**



Driveways for nineteen households back onto Dancing Ground Rd in Nava Adé.

*Exhibit "7"*