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CITY OF SANTA FE, NEW MEXICO
RESOLUTION NO. 2021-61

A RESOLUTION

AMENDING THE MASTER PLAN FOR TIERRA CONTENTA TO INCLUDE MODIFICATIONS TO INFRASTRUCTURE, PARKS, TRAILS, LAND USES, AND DENSITY FOR PHASE 3A, WHICH CONSISTS OF PARCELS KNOWN AS TRACT 7A AS SHOWN IN BOOK 396, PAGE 014; LOT 8 AS SHOWN IN BOOK 396, PAGE 11; TRACT 9 AS SHOWN IN BOOK 231, PAGE 46; AND TRACT 8A3-7C AS SHOWN IN BOOK 738, PAGE 15, WITHIN SECTION 13 AND PACHECO GRANT, PROJECTED SECTION 11, T16N, R8E, N.M.P.M., COMPRISING AN AREA OF APPROXIMATELY 216.52 ACRES, LOCATED SOUTHWEST OF CAPITAL HIGH SCHOOL (CASE NO. 21-3818, TIERRA CONTENTA MASTER PLAN AMENDMENT #1 FOR PHASE 3A).

WHEREAS, the agent for Tierra Contenta Corporation, owner of the property shown in Exhibit A, referred to herein as “Tierra Contenta Phase 3A”, has submitted an application to amend the Tierra Contenta Master Plan (“Master Plan”) to modify the infrastructure, parks, trails, land uses, and density of Tierra Contenta Phase 3A; and

WHEREAS, future development on the property encompassed within the Master Plan requires

1 an early neighborhood notification meeting and the applicant held an early neighborhood notification
2 meeting on May 27, 2021; and

3 **WHEREAS**, review of an amendment to a Master Plan by the Planning Commission is
4 required by Subsection 14-3.19(D) of the City Code, and the Planning Commission reviewed and
5 recommended approval of the proposed amendments to the Master Plan for Tierra Contenta Phase 3A
6 on September 2, 2021; and

7 **WHEREAS**, on February 23, 1994, the Governing Body approved an amendment to the Tierra
8 Contenta Master Plan and adopted the Tierra Contenta Master Plan by Resolution 1994-17 and
9 incorporated it into the 1983 City General Plan (Resolution 1983-46); and

10 **WHEREAS**, the General Plan does not need to be amended in order to amend the Tierra
11 Content Master Plan, because when the City amended the City General Plan in 1999 (Resolution 1999-
12 45) it did not include the Tierra Contenta Master Plan; and

13 **WHEREAS**, the Governing Body reviews amendments to master plans and makes findings
14 for the following criteria: that they are consistent with the general plan, zoning districts, use regulations,
15 and development standards for the master plan area; that development of the master plan will contribute
16 to the coordinated and efficient development of the community; and that the existing and proposed
17 infrastructure will be able to accommodate the impacts of the planned development; and

18 **WHEREAS**, the Governing Body finds that the application to amend the Master plan meets
19 the criteria listed above based on its examination of Exhibits A, B, and C.

20 **NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE**
21 **CITY OF SANTA FE** that the Master Plan for Tract 7a As Shown In Book 0396, Page 014; Lot 8 As
22 Shown In Book 396, Page 11; Tract 9 As Shown In Book 231, Page 46; and Tract 8A3-7 As Shown in
23 Book 738, Page 15, Within Section 13 And Pacheco Grant, Projected Section 11, T16n, R8e, N.M.P.M.,
24 is amended as shown on Exhibit A attached hereto, subject to the Design Standards shown on Exhibit
25 B and the conditions of approval shown in Exhibit C.

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PASSED, APPROVED, and ADOPTED this 27th day of October, 2021.



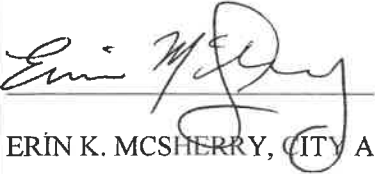
ALAN WEBBER, MAYOR

ATTEST:



KRISTINE MIHELIC, CITY CLERK

APPROVED AS TO FORM:



ERIN K. MCSHERRY, CITY ATTORNEY

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3818

Southwest of Capital High School

Owner/Applicant's Name - Tierra Contenta Corporation

Agent's Name - JenkinsGavin, Inc.

THIS MATTER came before the Governing Body for hearing on October 27, 2021, upon the application (Project) of JenkinsGavin, Inc., agent for Tierra Contenta Corporation (Applicant).

The Applicant seeks the Governing Body's approval for a Master Plan Amendment to the Tierra Contenta Master Plan, allowing for modifications to infrastructure, parks, trails, land uses, and density for up to one thousand, five hundred (1500) dwellings on approximately 216.52 acres (Project). The property is located southwest of Capital High School (Property) and is zoned PRC (Planned Residential Community - corresponding to approved master plan).

After conducting a public hearing and having heard from staff and all interested persons, the Governing Body hereby FINDS, as follows:

FINDINGS OF FACT

1. At the hearing, the Governing Body received a recommendation from the Planning Commission, reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
2. The Santa Fe City Code (SFCC) 1987, Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987, § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987, § 14-3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC 1987, § 14-3.1(H)-(I)].
3. A pre-application conference was held on for hearing on December 10, 2020, upon the application in accordance with SFCC 1987, Section 14-3.1(E).
4. Pursuant to SFCC 1987, Section 14-3.1(H)(1), notice of the ENN meeting was properly given.
5. Pursuant to SFCC 1987, Section 14-3.1(F), the Applicant conducted an ENN meeting. The Applicant conducted one ENN on May 27, 2021. The ENN meeting was conducted virtually via Zoom meeting platform. The ENN meeting was attended by a representative of the Applicant and City staff. The meeting was well attended by the public.

6. On September 2, 2021 the Planning Commission voted to recommend the Governing Body approve Tierra Contenta Master Plan Amendment #1 for Phase 3A for the Property and adopt written Findings of Fact and Conclusions of Law, subject to certain conditions of approval and technical corrections recommended by City staff (Case #2021-3818).
7. Pursuant to SFCC 1987 Section, 14-3.9(C)(5), the Governing Body has the authority to review and make decision to the Governing Body regarding amendments to master plans.
8. City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Governing Body with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
9. The Planning Commission and Staff recommended that the Governing Body approve Tierra Contenta Master Plan Amendment #1 for Phase 3A and adopt the Resolution 2021-61.
10. On October 27, 2021, the Governing Body amended the condition requiring 6-foot sidewalk widths affecting the Tierra Contenta Master Plan Amendment #1 for Phase 3A to 6-foot sidewalk widths along Paseo Del Sol, with the balance of sidewalk widths for Tierra Contenta Master Plan Amendment #1 for Phase 3A subject to City Code.
11. SFCC 1987, Section 14-3.9 establishes certain procedures for Master Plans approval including, without limitation, a public hearing by the Governing Body, and a decision based on the criteria set out in SFCC 1987, Section 14-3.9(D).
12. SFCC 1987 Section, 14-3.9(D) sets out approval criteria and requires the Governing Body to make complete findings of fact sufficient to show that:
 - (a) the master plan is consistent with the general plan;
 - (b) the master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;
 - (c) development of the master plan area will contribute to the coordinated and efficient development of the community; and
 - (d) the existing and proposed infrastructure , such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.
13. Based on the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Governing Body finds that all applicable criteria in SFCC 1987, Section 14-3.9(D) have been met.
14. Pursuant to SFCC 1987, Section 14-3.9(D)(1)(a), the Governing Body finds that the proposed master plan amendment is consistent with the Tierra Contenta Annexation Agreement and general plan.
15. Pursuant to SFCC 1987, Section 14-3.9(D)(1)(b), the Governing Body found the master plan is consistent with the purpose and intent of the PRC zoned

district that apply to, or will apply to, the master plan area, and with the applicable use regulations, proposed design standards, and development standards subject to Tierra Contenta Master Plan Amendment #1 for Phase 3A.

16. Pursuant to SFCC 1987, Section 14-3.9(D)(1)(c), the Governing Body found that the proposed master plan amendment would contribute to the coordinated and efficient development of the community.
17. Pursuant to SFCC 1987, Section 14-3.9(D)(1)(d), the Governing Body found that the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Governing Body CONCLUDES as follows:

1. Pursuant to SFCC 1987, Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.
2. The Applicant has the right under the SFCC to propose an amendment to a master plan.
3. The Governing Body has the power and authority at law and under the SFCC to review the proposed amendment to the master plan and to approve or deny the proposed amendment to the master plan.
4. The Applicant met the applicable Submittal Requirements.
5. The Governing Body approves the requested master plan amendment because master plan amendment complies with SFCC 1987, Section 14-3.9(D) "Approval Criteria".

WHEREFORE, IT IS ORDERED ON THE 27TH DAY OF OCTOBER, 2021, BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Governing Body approves the Master Plan Amendment, subject to conditions of approval and the technical corrections identified within the Resolution No. 2021-61 set forth in the Staff Report and the exhibits to the Staff Report.



Alan Webber
Mayor

Nov 1, 2021

Date:

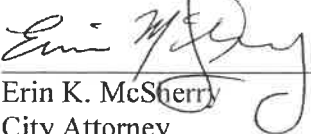
FILED:



Kristine Miheleic
City Clerk

Nov 2, 2021
Date:

APPROVED AS TO FORM:

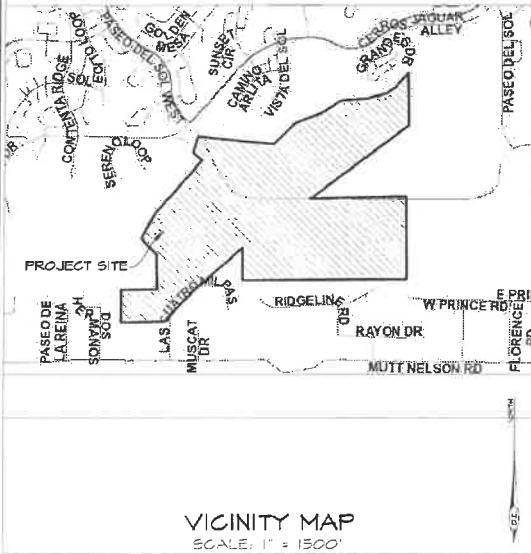


Erin K. McSherry
City Attorney

Nov 1, 2021
Date:

TIERRA CONTENTA PHASE 3A MASTER PLAN AMENDMENT #1

SANTA FE, NM 87507
SECTION 13 & 14, T 16 N, R 8 E, N.M.P.M.



SHEET LIST

- 1 COVER SHEET
- * 2 - 5 EXISTING CONDITIONS/TOPOGRAPHY
- * 6A - 6B APPROVED MASTER PLAN
- 7A - 7B MASTER PLAN AMENDMENT #1, PHASE 3A
- * 8 ROADWAY SECTIONS
- * 9 WATER AND SANITARY GENE MASTER PLAN

* THESE SHEETS ARE ON FILE IN THE CITY OF SANTA FE PLAT ROOM.

CITY OF SANTA FE APPROVALS:

APPROVED BY THE GOVERNING BODY OF THE CITY OF SANTA FE AT THEIR MEETING OF _____ AS CASE #2021-3818

MAYOR _____ DATE _____

ATTEST: _____

CITY CLERK _____ DATE _____

REVIEWED BY THE SANTA FE LAND USE DEPARTMENT

CITY PLANNER _____ DATE _____

CITY ENGINEER FOR LAND USE _____ DATE _____

AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNER HAS CAUSED THIS MASTER PLAN AMENDMENT TO BE PREPARED, ALL THAT APPEARS ON THE PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

TIERRA CONTENTA CORPORATION
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY _____ ON BEHALF OF TIERRA CONTENTA CORPORATION ON THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

OWNERS:



CIVIL ENGINEERING:

DESIGN ENGINEER



LAND PLANNING:



PLANNING:



SURVEYING:

SANTA FE SURVEYING COMPANY
P.O. BOX 2995, SANTA FE, N.M. 87504 | 1216 LUISA ST. SUITE 8
PHONE (505) 992-3211, MOBILE (505) 460-2659, FAX (505) 592-9565

JUNE 21, 2021

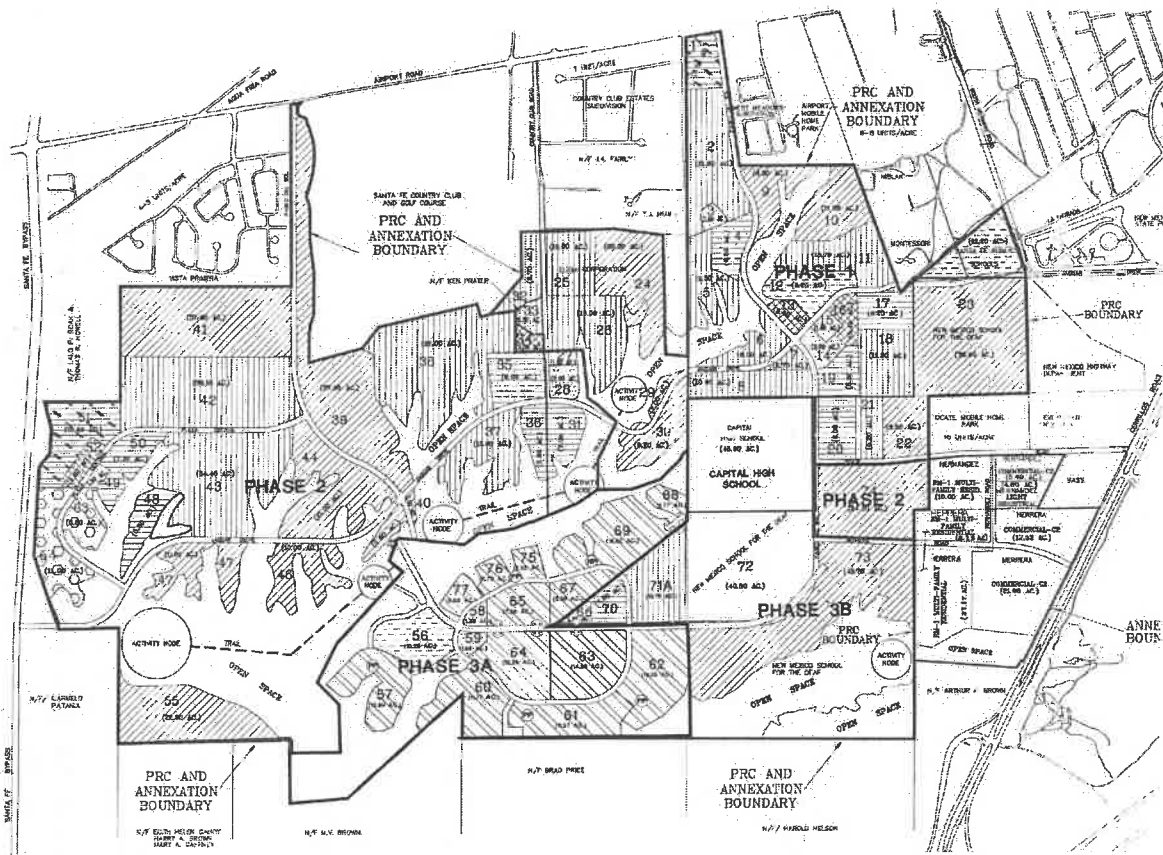
REVISIONS			
DATE	BY	DATE	BY

DEVELOPMENT/INFRASTRUCTURE BUILDING PERMIT ADDRESS: _____ SANTA FE, NM 87501

NOTICE INFORMATION FOR COUNTY CLERK

- (1) NAME: TIERRA CONTENTA PHASE 3A MASTER PLAN AMENDMENT #1
- (2) NAME: TIERRA CONTENTA CORPORATION
- (3) SECTION 13 & 14, TOWNSHIP 16 NORTH, RANGE 08 EAST N.M.P.M.

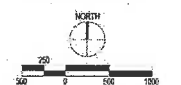
TIERRA CONTENTA PHASE 3A - MASTER PLAN AMENDMENT #1



LEGEND

[Symbol]	MIXED RESIDENTIAL
[Symbol]	RESIDENTIAL - 30-50 DU/AC (AVERAGE 37 DU/AC)
[Symbol]	RESIDENTIAL - 6-9 DU/AC (AVERAGE 7.40 DU/AC)
[Symbol]	RESIDENTIAL - 1-5 DU/AC (AVERAGE 4.50 DU/AC)
[Symbol]	VILLAGE COMMERCIAL
[Symbol]	NEIGHBORHOOD COMMERCIAL
[Symbol]	OFFICE/BUSINESS INCUBATOR
[Symbol]	COMMUNITY
[Symbol]	SCHOOL
[Symbol]	PARK AND OPEN SPACE
[Symbol]	MAJOR ROADWAYS

MASTER PLAN AMENDMENT #1 OVERVIEW













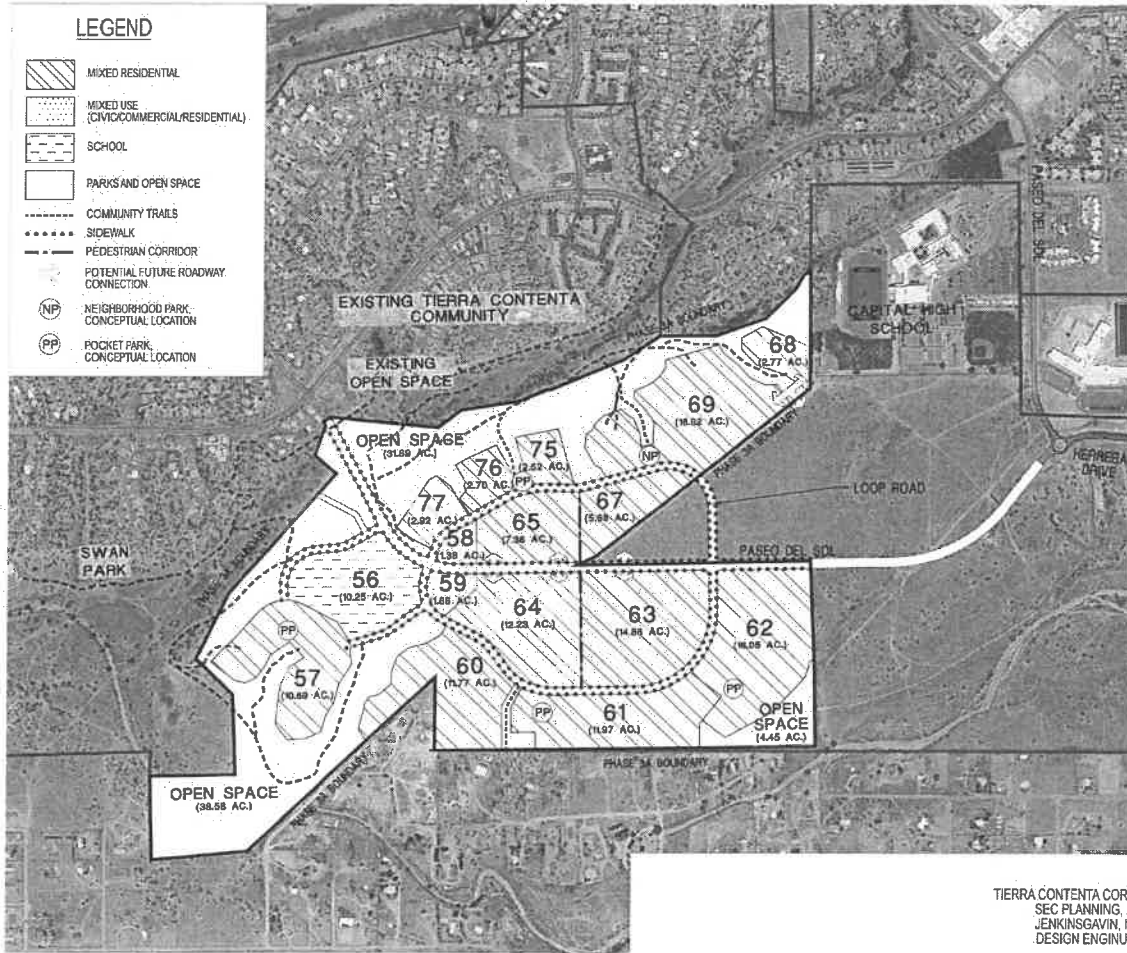
**TIERRA CONTENTA
PHASE 3A
SANTA FE, NEW MEXICO
SHEET 7A**

PURPOSE STATEMENT: THE PURPOSE OF TIERRA CONTENTA MASTER PLAN AMENDMENT #1 IS TO ALTER LAND USES AND RESIDENTIAL DENSITIES IN PHASE 3A ONLY.

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINGSAVIN, INC.
DESIGN ENGINEERY.

LEGEND

-  MIXED RESIDENTIAL
-  MIXED USE (CIVIC/COMMERCIAL/RESIDENTIAL)
-  SCHOOL
-  PARKS AND OPEN SPACE
-  COMMUNITY TRAILS
-  SIDEWALK
-  PEDESTRIAN CORRIDOR
-  POTENTIAL FUTURE ROADWAY CONNECTION
-  NEIGHBORHOOD PARK- CONCEPTUAL LOCATION
-  POCKET PARK- CONCEPTUAL LOCATION

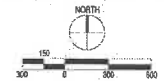


NOTES:

1. FOR DEVELOPMENT PROGRAMS, SEE ABOVE. SEE ALSO RESTRICTED AMENDMENT HOME PLANT ENTITLED "TIERRA CONTENTA, WOLFGOOD SUBDIVISION AND CONTIGUOUS LAND BEAUFY FOR CONDITIONS OF DEVELOPMENT"
2. AT THE TIME OF APPLICATION FOR PLAT, A SYSTEM OF APPROPRIATELY SCALED LOCAL ROADS SHALL BE ESTABLISHED WHICH CONNECT OR ARE STUBBED OUT TO ADJACENT CONNECTION TO ADJOINING LOCAL ROADS ON PROPERTIES WITHIN OR NEXT TO TIERRA CONTENTA.
3. SUBSEQUENT PLATS SHALL ILLUSTRATE STORM WATER MANAGEMENT SYSTEMS ACCEPTABLE TO THE CITY WHICH INCLUDE FACILITY DESIGN AND MAINTENANCE PROGRAMS.
4. FOR FINAL SUBDIVISION PLATS OR DEVELOPMENT PLANS (IN THE CASE OF MULTI-PHASE), THE DISPOSITION OF LANDS OVER 30% SLOPE THAT ARE NOT LOCATED IN THE PUBLIC OPEN SPACE SYSTEM SHALL BE CLARIFIED. LANDS OUTSIDE THE OPEN SPACE SYSTEM THAT ARE OVER 30% SLOPE SHALL BE IDENTIFIED AS REMAINING UNDISTURBED PER THE CITY CODE OR AS REQUIRING A VARIANCE.
5. SUBMITTALS SHALL BE PREPARED ON A TRACT BY TRACT BASIS FOR IMPROVEMENT PLANS. VEGETATION PLANS (INCLUDING USE OF NATIVE PLANTS) AND IRRIGATION PLANS INCLUDING XERISCAPE AND USE OF EFFICIENT WATER IN PARKS, OPEN SPACE, ROADWAYS, LAWNS, AND COMMUNITY FACILITIES. THE CITY POLICE AND PUBLIC WORKS DEPARTMENTS SHALL REVIEW THE SUBMITTALS TO DETERMINE ACCEPTABLE PLANS.
6. THE CITY PARKS DEPARTMENT SHALL RECOMMEND SIZE AND DEVELOPMENT CRITERIA FOR PARK IMPROVEMENTS.
7. ROADS WILL BE CONSTRUCTED CONSISTENT WITH CITY CODE OR VARIANCES FROM THE CITY CODE SHALL BE OBTAINED.
8. DEVELOPMENT WITH THE PRE SHALL COMPLY WITH THE APPROVED DESIGN GUIDELINES.

PHASE 3A DEVELOPMENT AND PROJECT DATA				
TRACT	LAND USE	NET ACREAGE	UNITS	DU/ACRE
56	SCHOOL	10.25	0	0.0
57	MIXED RESIDENTIAL	10.09	49	4.6
58	MIXED USE (CIVIC/COMMERCIAL/RESIDENTIAL)	3.38	21	29.9
59	MIXED USE (CIVIC/COMMERCIAL/RESIDENTIAL)	3.48	21	12.5
60	MIXED RESIDENTIAL	11.77	60	5.1
61	MIXED RESIDENTIAL	11.97	73	6.2
62	MIXED RESIDENTIAL	16.05	207	6.7
63	MIXED RESIDENTIAL	14.88	275	18.5
64	MIXED RESIDENTIAL	12.23	225	18.4
65	MIXED RESIDENTIAL	7.36	100	17.2
66	MIXED RESIDENTIAL	5.08	40	7.0
67	MIXED RESIDENTIAL	2.77	12	4.3
68	MIXED RESIDENTIAL	16.02	85	5.3
69	MIXED RESIDENTIAL	2.52	11	4.4
70	MIXED RESIDENTIAL	2.70	12	4.4
71	MIXED RESIDENTIAL	2.92	14	11.6
72	MIXED RESIDENTIAL	85.05	9	0.0
73	OPEN SPACE	38.55	0	0.0
PHASE 3A TOTALS		226.52	1175	5.3
MAXIMUM PERMISSIBLE UNITS			1500	6.7

MASTER PLAN AMENDMENT #1



TIERRA CONTENTA PHASE 3A SANTA FE, NEW MEXICO

SHEET 7B

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINGSAVIN, INC.
DESIGN ENGINEITY

EXHIBIT B

Tierra Contenta

Phase 3A Design Standards Overview

*Submitted with Tierra Contenta Master Plan Amendment #1 Application
June 21, 2021*

Introduction

Phase 3A of Tierra Contenta includes only lands owned by the Tierra Contenta Corporation (TCC) within the final phase of Tierra Contenta, totaling 222.84 acres. The remainder of land in Phase 3 is owned by the New Mexico School for the Deaf (NMSD), who has no plans to develop Phase 3B at this time. The amendment to the Master Plan for Phase 3A is intended to respond to market conditions and to provide more housing diversity, improve pedestrian connectivity, and implement design changes to address lessons learned from previous phases. This overview of the proposed Phase 3A Design Standards is presented with the application for Master Plan Amendment #1 and describes the draft conceptual framework and form-based, typological approach to be taken in Phase 3A. The final document will incorporate input from the City and the TCC Board and will be submitted with the Master Plat application for Phase 3A.

The following table summarizes the proposed land use entitlements for Phase 3A, as requested in Master Plan Amendment #1, to which the Phase 3A Design Standards will apply:

Mixed Residential	118.95 acres	1,133 units
Mixed-Use	3.43 acres	42 units
School	9.37 acres	
Open Space	91.09 acres	
<hr/>		
<i>Total</i>	<i>222.84 acres</i>	<i>1,175 units (1,500 maximum)</i>

Conceptual Framework

In response to City and neighborhood feedback on previous phases, TCC is taking a fresh approach to the design standards for Phase 3A. All residential tracts are designated as “Mixed Residential” to emphasize that a mixture of housing types is permissible and encouraged. An overall increase in density / maximum residential units is proposed to encourage and facilitate the creation of a diversity of housing types. A minimum number of units are assigned per development tract, and a “density bank” will be established to provide incentives for inclusion of “missing middle” housing types and innovative sustainability measures as each tract develops. Rules will be established to determine how density bonuses are awarded based on availability of entitled units and the development program proposed. Form-based standards define Roadway Typology, Building Typology, and Open Space/Trail Typology. This approach is intended to create a flexible framework that will define how buildings, open spaces, and streetscapes are configured to shape and activate the public realm, create a desirable and livable neighborhood, meet affordability goals, and realize the values and intent of Tierra Contenta.

Where appropriate given the change in conceptual framework for Phase 3A, relevant components of the design standards from previous Tierra Contenta phases will be incorporated.

Design Review Process

The Phase 3A Design Standards along with the Phase 3A Master Plat will form the basis to implement the Amended Tierra Contenta Master Plan. Development of the tracts created by the Phase 3A Master Plat will be contingent on approval of a Subdivision Plat and/or a Development Plan, if applicable, for each tract that follows the Tierra Contenta Master Plan, the Phase 3A Design Standards, and other relevant City policies and regulations. The Design Standards are structured to give users and reviewers a format, intent, and specific direction for development review and implementation.

City staff and planning officials retain jurisdiction to review, approve, or disapprove Development Plans and Subdivision Plats within Tierra Contenta. However, the Tierra Contenta Annexation Agreement states that:

“The City agrees to approve rezoning, preliminary development plans and preliminary subdivision plats for individual tracts within the Property, provided such rezoning, plats and plans conform to the Master Plan and Phasing Plan, the SFCC 1987 as amended, and the provisions of this Agreement. The City agrees to approve final development plans and final subdivision plats that substantially conform to previously approved preliminary plats and plans.”

The Phase 3A Master Plat and Design Standards shall be consistent with the Master Plan. Subsequently, the individual Subdivision Plats and Development Plans for the tracts shall be consistent with the approved Phase 3A Master Plat and Design Standards. Phase 3A Subdivision Plats and Development Plans shall be reviewed and approved by the Planning Commission for individual development tracts. Prior to City review and approval, each Subdivision Plat and Development Plan is subject to review by the TCC Architectural Review Committee for compliance with the Master Plan and with the adopted Phase 3A Master Plat and Design Standards. Except as specifically provided in the Tierra Contenta Master Plan, Annexation Agreement or phase-specific Design Standards, development within Tierra Contenta must comply with all other property development regulations adopted by the City of Santa Fe.

Roadway Typology

Phase 3A will be served via the extension of Paseo del Sol from the current terminus of Paseo del Sol West just south of Jaguar Drive east to the Herrera Drive/Paseo del Sol East roundabout, completing this important roadway connection. In addition, an internal Community Loop Road will complete the Phase 3A backbone roadway infrastructure, providing access to the development tracts. The easternmost leg of Paseo del Sol and a portion of the Loop Road cross NMSD property, requisite right-of-way dedications in accordance with the terms of the Tierra Contenta Annexation Agreement are in negotiation.

The Amended Master Plan identifies potential future roadway connections to adjacent lands, including NMSD property and the Mutt Nelson neighborhood to the south. As the

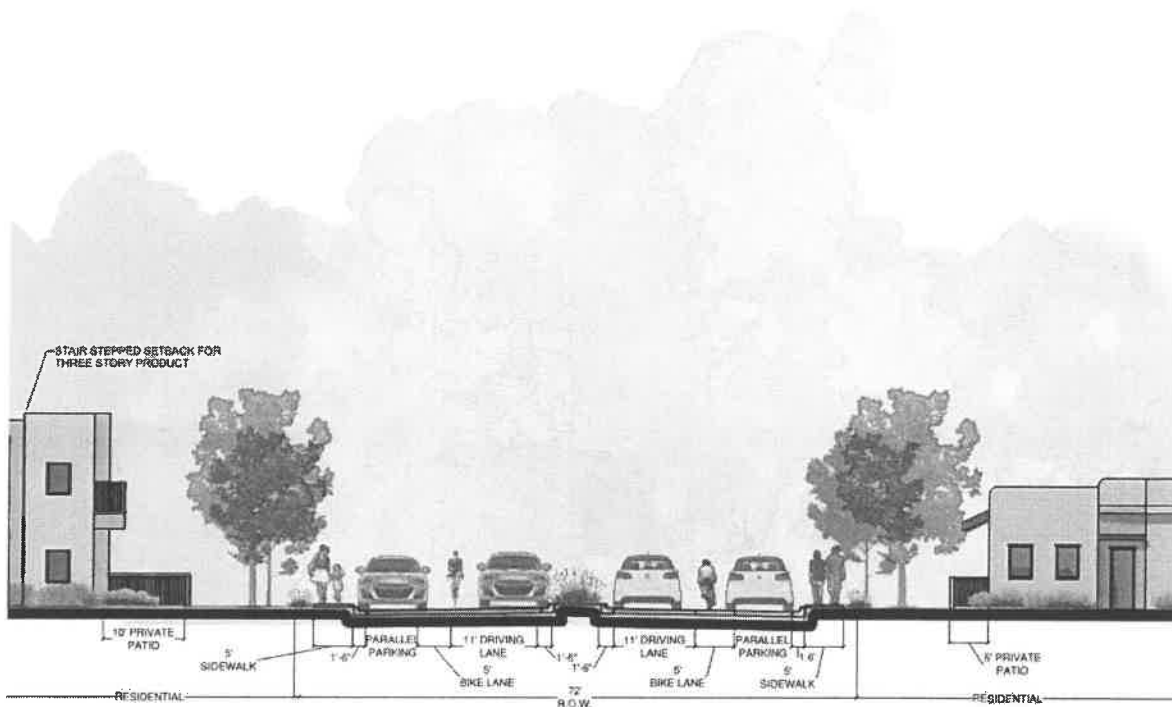
individual tracts are developed, road stub-outs and/or right-of-way dedications will be required where appropriate to ensure adequate roadway connectivity in the larger area. In addition, connectivity among the development tracts is a key component of the design intent.

In an effort to provide improved pedestrian amenities and connectivity, the Roadway Typology requires sidewalks on both sides of each of the three street types. Furthermore, in order to address parking shortages experienced in previous phases, on-street parking is proposed on segments of Paseo del Sol and on one side of the Community Loop Road. Local Streets constructed within the development tracts will also need to include on-street parking. In the event on-street parking is not feasible due to driveway proximity, dedicated guest parking areas will be required.

Roadway standards are illustrated below by road sections, and their relationships to the buildings are defined within the Building Typology as frontage specifications.

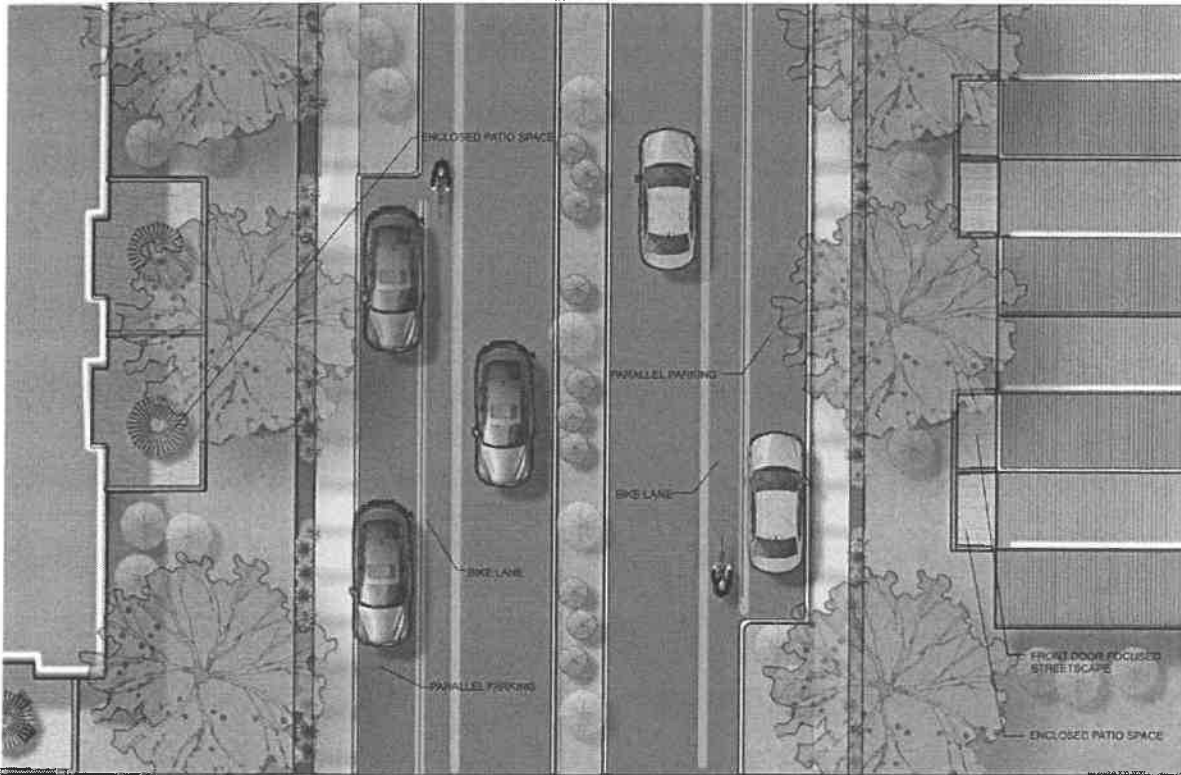
Paseo del Sol

Paseo del Sol is the primary through access connecting Phase 3 to previous phases of Tierra Contenta and to the City's larger roadway network. This roadway is not, however, intended to be a high-speed, multi-lane thoroughfare and is instead designed with traffic calming, pedestrian orientation, and activation of the streetscape as top priorities. No rear-facing building relationships are permissible, and no single-access or shared driveways are allowed from Paseo del Sol, except for the purposes of accessing rear parking for multi-unit residential developments or commercial/mixed use buildings. Parallel parking is included on both sides of the street, as are sidewalks and bike lanes, and a landscaped median will aid in traffic calming and enhancement of the driver and pedestrian experience. Street trees and plantings are required, and frontage relationships of buildings are defined in the Building Typology to ensure that Paseo del Sol is an attractive, inviting streetscape. A cross section and plan view of Paseo del Sol are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.



PASEO DEL SOL STREET CROSS - SECTION: 72' RIGHT OF WAY

Scale: 1/2" = 1'

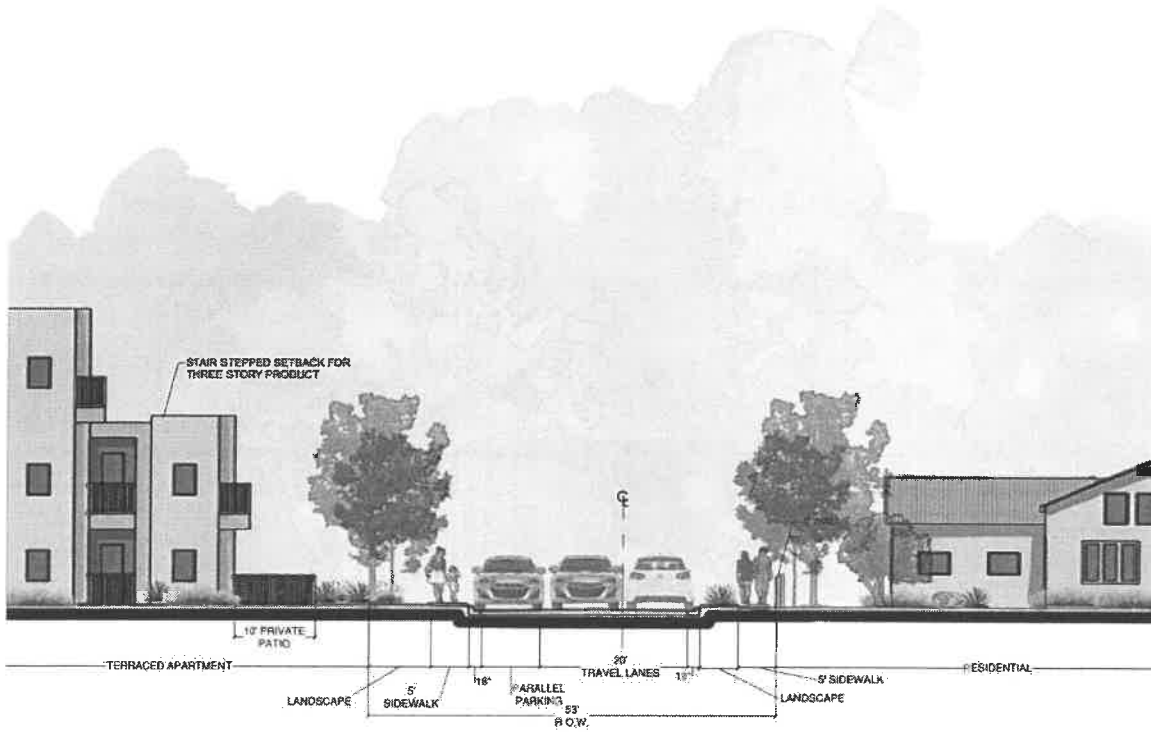


PASEO DEL SOL PLAN: 72' RIGHT OF WAY

Scale: 1/2" = 1'

Community Loop Road

The Community Loop Road provides access to the Phase 3A development tracts from Paseo del Sol. As such, it is a critical piece of the spine infrastructure for Phase 3A. The Community Loop Road is envisioned as a low-speed collector with on-street parking on one side and sidewalks on both sides, along with requisite street trees and plantings. As with Paseo del Sol, no rear facing building relationships are permissible, but driveways are allowed. A cross section and plan view of the Community Loop Road are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.



COMMUNITY LOOP CROSS - SECTION: 53' RIGHT OF WAY
Scale: 1/2" = 1'

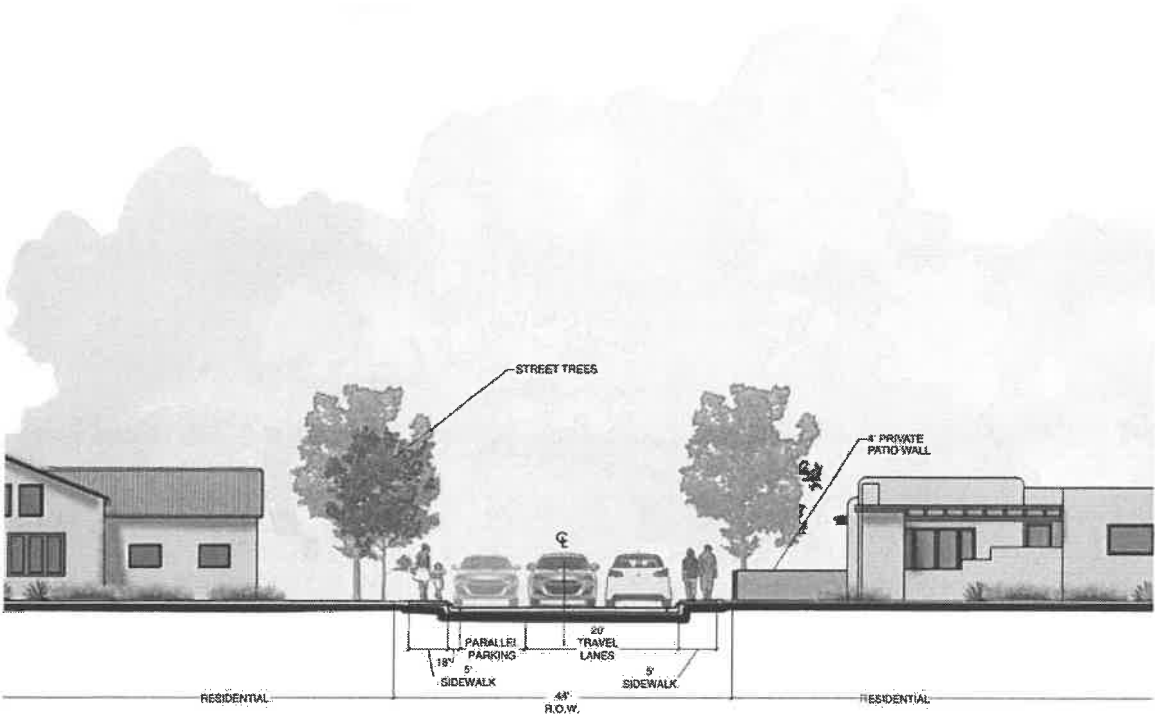


COMMUNITY LOOP PLAN: 53' RIGHT OF WAY.

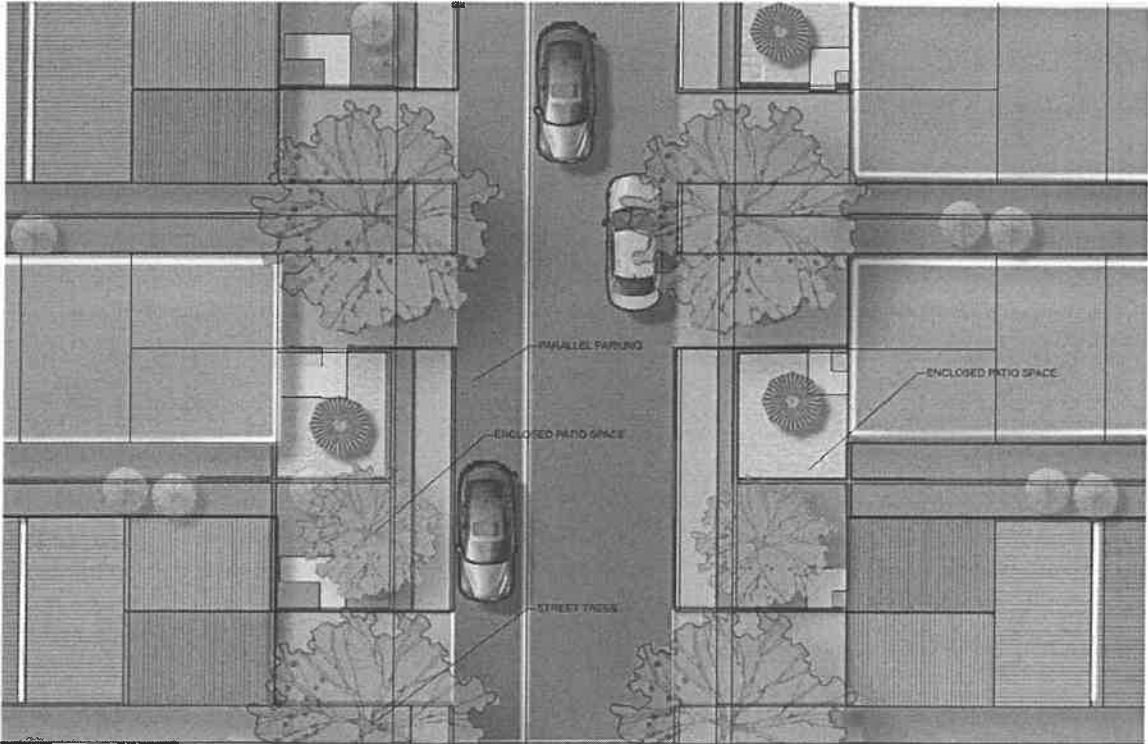
Scale: 1/2" = 1'

Local Streets

The configuration of local streets will be determined as tracts are developed, depending on the program proposed by the developer of that tract. Sidewalks, street trees, and plantings are required on both sides of the Local Streets, and they will also need to include on-street parking on at least one side. In the event on-street parking is not feasible due to driveway proximity, dedicated guest parking areas will be required. A conceptual cross section and plan view of a Local Street are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.



LOCAL STREET CROSS - SECTION: 44' RIGHT OF WAY
Scale: 1/2" = 1'



LOCAL STREET PLAN: 44' RIGHT OF WAY
Scale: 1/2" = 1'

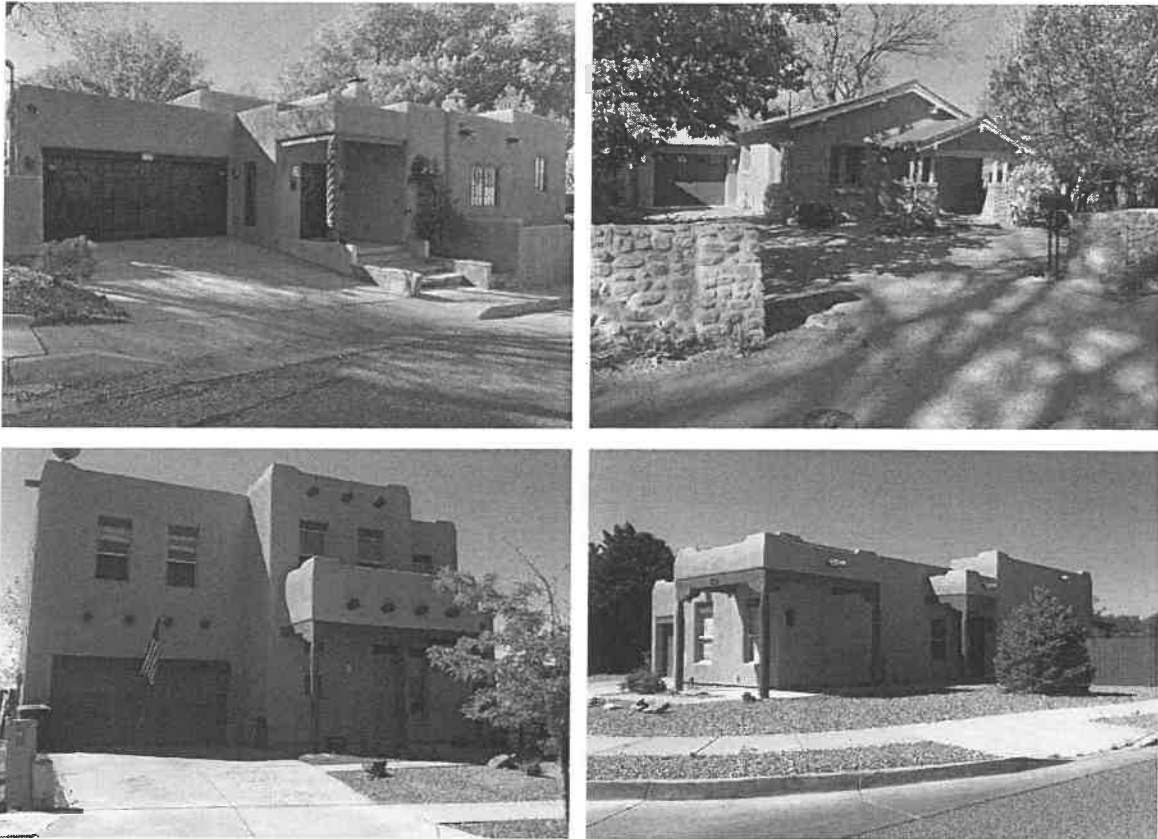
Building Typology

The Phase 3A Building Typology identifies typical and appropriate building forms to encourage diversity of housing types, including those referred to as the “missing middle” housing types, as well as activation of the streetscape. Each Building Type includes specifications for access and entry, parking, frontage, placement and massing of building form. Building types will be accompanied by simple visual renderings or photos, schematic plans and sections showing building footprints and frontage relationships. All residential building types are permissible in all Mixed Residential areas. No rear-facing building orientations are permissible for any Building Type on any Roadway Type. Building Types are described below.

Detached House

A detached structure that incorporates one dwelling unit on a single lot with front and rear yards. Must be oriented toward the street, and may be accompanied by one attached or freestanding Accessory Unit.

Access & Entry	The Principal Entry to each dwelling shall face the street frontage and have direct access from a porch/portal, stoop, or private patio. Access for parking, loading, and trash disposal must be from an alley, narrow driveway, ribbon driveway or circular driveway.
Parking	Parking shall be located in garages, carports, or in designated driveways constructed for that purpose. Garages or carports may be attached, detached, or connected by a breezeway. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet. Detached and breezeway garages must be located in the side or rear yard. Side yard garage access is permissible when a dual frontage is present.
Frontage	Principal Entry must face the street. Must include a portal/porch, stoop, or private patio. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Garage / Carport Front Setback: Min 20 ft Zero-lot-lines are permissible for garages / carport at side or rear.
Massing	May be 1 or 2 stories in height. May not exceed 24 ft. in height. For lots 50 ft wide or wider, any portion of a building over 14 feet must step back at least 10 feet on one or both sides.



Accessory Unit

An accessory structure, typically located near the rear of a lot and can be free-standing or attached to a garage or main dwelling unit. Can be a stacked, second-floor unit above a garage or main house. Can serve as an accessory dwelling unit, home office space, studio or other use.

Access & Entry	The Principal Entry to the unit shall be accessed from the side or rear yard or alley. Access for parking, loading, and trash disposal must be from an alley, narrow driveway, or ribbon driveway.
Parking	Parking shall be located below, beside, or behind the unit and accessed from an alley or side driveway.
Frontage	Typically does not have street frontage unless accessed from a side yard.
Placement	Typically located near the rear of a lot and can be free-standing or attached to a garage or main dwelling unit. Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft
Massing	Can be a single-story unit or a stacked, second-floor unit above a garage or main house. Cannot exceed 24 ft. in height when located on a second floor. Floor area cannot exceed that of the Principal Dwelling, up to 1500 sq ft.

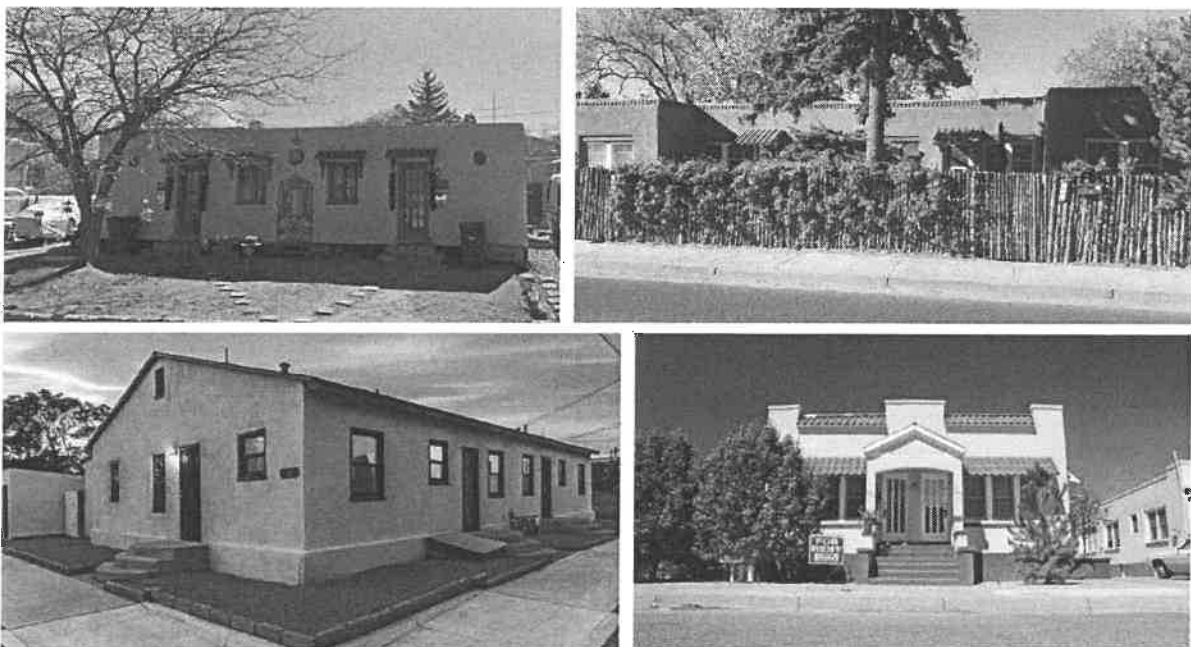


Duplex

Small-to-medium sized structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This building type has the appearance of a medium-to-large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods.

Access & Entry	The Principal Entry to each dwelling or each common entrance, if designed as stacked flats, shall have direct access from a portal/porch, a common portal/porch, or stoop facing the street.
Parking	Parking shall be located in garages, carports, or in designated driveways constructed for that purpose. Garages or carports may be attached, detached, or connected by a breezeway. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet. Detached and breezeway garages must be located in the side or rear yard. Side yard garage access is permissible when a dual frontage is present.
Frontage	Principal Entries or common entrance must face the street. Each dwelling must include a stoop or porch/portal, either individually or in common with an adjoining dwelling. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.

Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Zero-lot-lines permissible if attached side-by-side units. If stacked, min 5 ft / Max 10 ft Rear Setback: Min 10 ft Garage / Carport Front Setback: Min 20 ft Zero-lot-lines are permissible for garages / carport at side or rear.
Massing	May be articulated as large single family houses consistent with the vernacular building form in the surrounding neighborhood. Duplexes may also be designed as stacked flats, abutting townhouses, courtyards, or other vernacular forms compatible with the surrounding neighborhood. Attic spaces may be used as habitable space.



Townhouses/Rowhouses

Consists of multiple attached dwelling units, placed side-by-side (zero lot line). Building cannot exceed 180 linear feet. Typically located in medium-density neighborhoods or in a location that serves as a transition from primarily single-family homes to higher density areas.

Access & Entry	The Principal Entry to each dwelling shall have direct access to the street. Parking, loading and trash disposal must be accessed from an alley or from a shared driveway.
Parking	Parking shall be located behind each building or in attached garages facing the street. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet.

Frontage	Each dwelling must include a stoop or porch/portal fronting the street and a public sidewalk or a common open space. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Garage / Carport Front Setback: Min 20 ft Rear Setback: Min 10 ft
Massing	May be 1 or 2 stories in height. May not exceed 24 ft. in height.



Casita Court

Consists of a series of small, detached structures and/or side-by-side attached structures, providing multiple dwelling units arranged around a shared courtyard, which takes the place of a private rear yard. Each unit shall have an individual entry accessed from the shared courtyard.

Access & Entry	The Principal Entry to each dwelling shall have direct access to a shared courtyard at ground level or from a stoop or small portal/porch.
Parking	Parking can be located behind the rear massing of the courtyard or below the rear-most dwelling units, which may be located above a bank of garages. A common parking court may be provided interior to the block.
Frontage	Typically, multiple building masses are arranged around a central landscaped courtyard. Yard walls or fences flush with the courtyard opening are permissible, cannot exceed 4 ft. in height, and must include a pedestrian opening/entry, which can be gated.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Typically consists of single story structures, but can be up to two stories (24 ft max height). Often the rear-most building(s) are up to two stories, sometimes allowing for garages on the ground floor and dwelling units above, while the structures flanking the courtyard are 1 to 1.5 stories.



Courtyard Apartments

Consists of multiple side-by-side and/or stacked multiple dwelling units arranged around a shared courtyard and accessed from a central common entry facing the street.

Access & Entry	The Principal Entry to each dwelling shall be accessed from a common entry and interior corridor.
Parking	Parking shall be located behind the rear massing of the courtyard. A common parking court may be provided interior to the block.
Frontage	Central portion of the building is set back between two flanking sections that are closer to the front property line, creating a recessed, landscaped courtyard. Yard walls or fences flush with the courtyard opening are permissible, cannot exceed 4 ft. in height, and must include a pedestrian opening/entry, which can be gated.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Up to three stories (36 ft max height) if located on Paseo del Sol; up two stories (24 ft max height) elsewhere. Massing step-backs required from frontage if three stories.



Multiplex

Detached structure that consists of multiple dwelling units arranged side-by-side and/or stacked, typically with one shared entry at the front. Has the appearance of a medium-to-large sized single-unit house. Typically does not include a rear yard, as parking is generally located behind the structure.

Access & Entry	Dwelling units are accessed from a common entry or entries and interior corridor(s).
Parking	Parking is located behind the structure and accessed from an alley or from a shared narrow or ribbon driveway. Parking may be accessed from the side yard if there is a dual frontage condition.
Frontage	Building frontage has the appearance of a medium-to-large detached house, set near the street. May have dual frontage. Typically, there are no yard walls or fencing. However, if present, front yard walls or fences may not exceed 4 ft. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Up to three stories (36 ft max height) if located on Paseo del Sol; up two stories (24 ft max height) elsewhere. Massing step-backs required from frontage if three stories.



Garden Apartments

A building or group of buildings containing multiple dwelling units, stacked vertically and horizontally. Buildings can take the form of rectilinear building blocks, or L-shaped or U-shaped footprints. Typically, each dwelling unit has a small private terrace, and/or there are shared terraces for common use by residents.

Access & Entry	Dwelling units are accessed from a common entry or entries and interior corridor(s) and vertical circulation.
Parking	Underground or surface parking. Surface parking must be interior to the lot.
Frontage	Buildings are generally arranged close to the street. Each dwelling unit typically has a small terrace, landing, or private yard enclosed with a low (4 ft max height) wall or fence, either elevated above the street level (balcony) or at street level, or a combination of both. Perimeter fencing for low-rise garden apartments shall not exceed 6 ft in height, must allow for transparency/visibility, and must be set back at least 5 ft from the edge of right-of-way. The resultant open space between the right-of-way and the perimeter fencing must be landscaped and maintained as common open space. Six-foot-high block walls are not permitted, and six-foot-high fencing is not permitted at the edge of right-of-way.
Placement	Front Setback: 10 ft for a 2-story building / 20 ft for a 3-story building (no stepback required, see below) Side Setback: 10 ft min Rear Setback: 10 ft min
Massing	Up to three stories if located on Paseo del Sol; two stories elsewhere. Massing step-back of 10ft required from frontage for a third story. No stepback required if three story building is set back 20 ft from frontage/ROW.



Live-Work

Attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground-floor space that can be used for residential, service, or retail purposes. Both the ground-floor flex space and the unit above are owned or occupied by one entity. Typically located in a medium-density residential context or in a location that transitions between a mixed residential neighborhood and commercial/mixed-use area. Especially appropriate for incubating small businesses and for allowing commercial uses to expand as the market demands.

Access & Entry	Ground floor flex space and residential unit above typically have separate entrances. Upper floor residential units may have a common entry. Parking, loading and trash disposal accessed from alley or rear of the lot.
Parking	Parking areas must be located adjacent to an alley or at the rear of the lot and may not abut the street frontage. On-street parking is typical along street frontages.
Frontage	Shopfront street frontage is typical at the ground floor. Each shopfront must have a separate entrance, which may be covered with a portal or awning. Live-work buildings may be arranged around an interior landscaped and/or hardscaped courtyard or forecourt.
Placement	Front Setback: zero-lot-line permissible / 5 ft maximum Side Setback: zero-lot-line permissible / 10 ft maximum Rear Setback: 10 ft minimum
Massing	Up to three stories (36 ft max) if located on Paseo del Sol; two stories (24 ft max) elsewhere. Massing step-backs required from frontage if three stories.

Flex Building

Contains at least one story above the ground floor, with Shop Fronts on the ground floor. The building may contain any combination of residential, office, and commercial uses. Retail should occur on the ground floor, but is not mandatory. The building may evolve over time through many combinations of use.

Access & Entry	Principal Entry to each individual unit on the ground floor must have direct access from the street frontage. Parking access is from an alley or narrow driveway.
Parking	Parking is located behind or under the building. Additional on-street parking is typical. A common parking area may be located interior to the block.
Frontage	Frontages take the form of shop fronts. A courtyard / forecourt building arrangement is permissible.

Placement	Front Setback: zero-lot-line permissible / 5 ft maximum Side Setback: zero-lot-line permissible / 10 ft maximum Rear Setback: 10 ft minimum
Massing	Up to three stories if located on Paseo de Sol; two stories elsewhere. Buildings facing a street that are longer than 50 feet must be articulated a maximum of every 40 feet along the street-facing façade. Entryways are required at least every 40 feet.

Open Space and Trail Typology

In Phase 3A, 91.09 acres of open space will be preserved, which includes one Neighborhood Park, to be owned and maintained by the City of Santa Fe, four dispersed Pocket Parks to be maintained by the applicable homeowners’ association, and an extensive trail network. Park locations shown on the Master Plan Amendment Plans are conceptual and subject to change during platting. These decentralized passive and active recreational spaces are intended to provide community connection opportunities throughout the neighborhood and will be developed in accordance with the Open Space and Trails Typology described below.

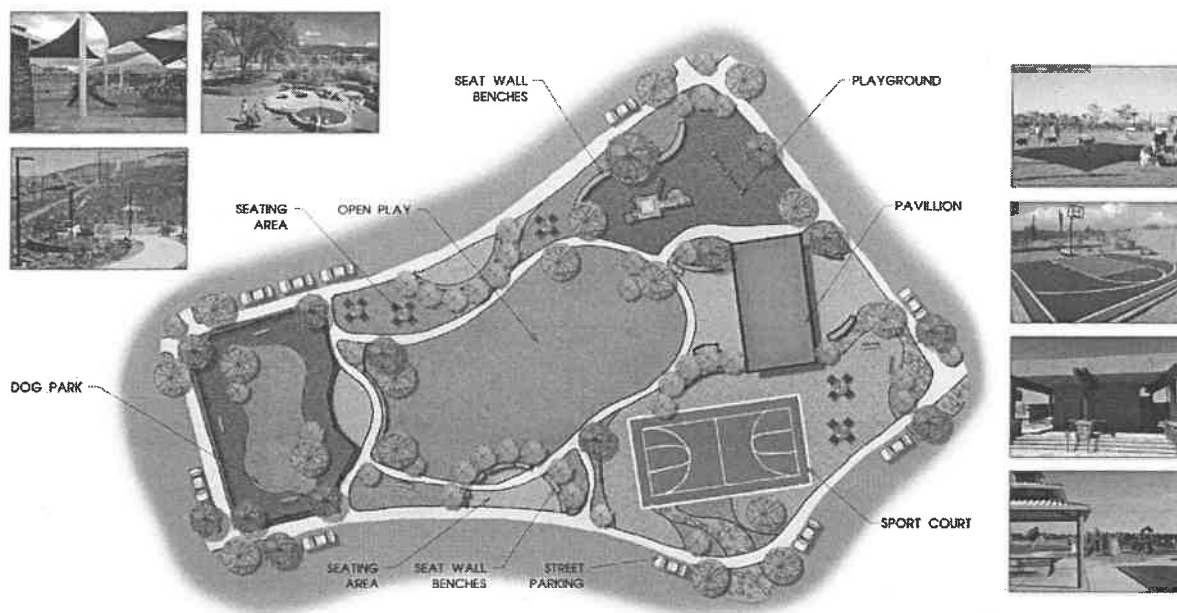
Neighborhood Park

Up to 5 acres in size, a neighborhood park serves as a social and recreational focal point for the neighborhood. Includes formal playground, outdoor sport courts, sport fields, picnic tables, pathways, and/or multi-use open turf areas. Can accommodate the recreational needs of a wide variety of users, and access for pedestrians, bicyclists and other non-motorized travelers is a priority. Connectivity to surrounding neighborhood(s) is vital. Sidewalks, pathways, and connections to the larger neighborhood trail system should be established. Proximity to school facilities is highly desirable.

Provides a variety of recreational, social, and cultural opportunities. Provides greens pace within neighborhoods. Contributes to health and wellness. Provides opportunities to connect with nature.

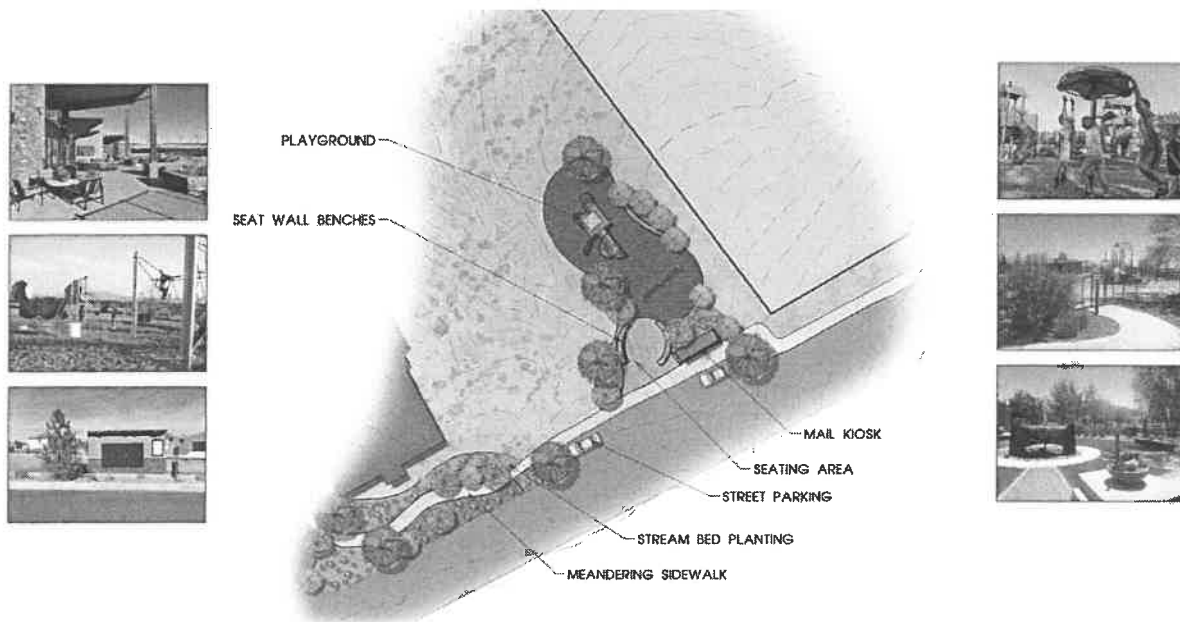
No more than 2/3 of the area should be reserved for active recreation. Remaining area should be enhanced with benches, gardens, natural areas, multi-use green space, pathways, and other more passive pedestrian amenities.

A conceptual plan of a 3-acre neighborhood park is provided below.



Pocket Park

Small outdoor space, usually no more than ¼ to ½ acre in size. Also referred to as mini-parks, pocket parks are small-scale, landscaped open spaces designed for passive recreation, social interaction, and connection with nature. Minimal amenities are provided, aside from those intended to enhance pedestrian comfort, and connectivity to surrounding residences is a priority. A conceptual plan of a pocket park is provided below.



Pedestrian Corridor

Multi-use path with open space buffer on either side that provides enhanced connectivity for pedestrians and cyclists between residential development tracts, linking streets, sidewalks, and other pedestrian pathways through a neighborhood.

Community Trail

A network of 10-foot wide non-motorized trails within the natural open space, which will connect to the existing area trails. Trails shall be accessible via the sidewalk network and connect to the parks, where feasible.

Natural Open Space

Dedicated open space that is defined by natural vegetation and shall remain largely undisturbed and protected during construction activities. Construction within Natural Open Space is limited to trails, drainage improvements/arroyo bank stabilization, and utility extensions. Disturbed areas shall be revegetated to mimic the undisturbed condition.

EXHIBIT C
Technical Corrections
Case #2021-3818
Tierra Contenta Master Plan Amendment #1 for Phase 3A

#	Conditions of approval	Dept/Division	Completed By:
1	Submit a Master Plan plat defining the Master Plan Phase 3A proposed Tract boundaries and total acreage.	Land Use	Prior to filing the Master Plan
2	Correct Master Plan boundaries excluding previously dedicated open space from Tierra Contenta Subdivision Phase 2A, Unit 1 and Tierra Contenta Subdivision Phase 1B, Unit one.		
3	The Master Plan shall include conceptual trail integration with existing trails, parks, and open space. The trails may be included with phased development of tracts as long as design and construction standards are included in the Phase 3A design guidelines.		
4	Disturbed areas within the open space shall be revegetated to mimic the undisturbed condition		
5	NMSD right-of-way dedications shall be acquired for proposed roads crossing NMSD land.		
6	Address all comment and concerns received from Wilson & Company, Inc., Engineers & Architects.		
7	Terrain Management shall comply with Section 14-8.2 requirements for Terrain Management.		
8	Submit concept street lighting plan		
9	Submit amenities for other accessory structures within the Design Guidelines.		
10	Submit plan for the timing, financing, and responsibility for infrastructure construction.		
11	Submit concept water budget	Prior to Governing Body Review (Completed)	
12	Submit fiscal impact to the city of providing utility and other municipal services to the area.	Prior to Governing Body Review (Completed)	
13	Provide additional detail in the guidelines identified in Section IV(a) "Housing and Nonresidential of this report for the Land Director review and approval.	Prior to filing the Master Plan	

EXHIBIT C
Technical Corrections
Case #2021-3818

Tierra Contenta Master Plan Amendment #1 for Phase 3A

14	Design guidelines for development of the water system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A shall require a pre-water design meeting with the City's Water Division prior to submittal of an application to the City for Development	Water Division	Prior to subdivision or development plan review of Tract Phases
15	Design guidelines for development of the sanitary sewer system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A project shall require a pre-sewer design meeting with the City's Wastewater Division prior to submittal of an application to the City for Development	Sewer Division	
16	Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)	Fire Marshal	Prior to Signatures
17	Include parking protected bike lanes as a design option	Land Use/MPO	Sheet Process
18	Widen the minimum sidewalk width to 6 feet along Paseo Del Sol, all other sidewalk widths shall comply with City Code.	Required by the Governing Body at the October 27, 2021, Governing Body Public Hearing	
19	Add a landscape buffer between all sidewalks and the road	Land Use/MPO	Sheet Process
20	Incorporate all conditions required for ADA compliance into the Master Plan Guidelines. ADA guidelines shall comply with both Federal and State ADA standards as amended.	Land Use/ADA Review	Prior to Recording

EXHIBIT C
Technical Corrections
Case #2021-3818
Tierra Contenta Master Plan Amendment #1 for Phase 3A

	Technical Corrections of approval	Department	To be completed by:
1	Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)	Fire Prevention	At the time of any new construction or remodel
2	Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads.		
3	Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2015 section 503.1.1)		
4	507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building.		
5	Shall have water supply that meets fire flow requirements as per IFC (Appendix B)		
6	Shall comply with Section D102.1 Access and Loading (75,000 lbs).		
7	Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)		
8	Shall comply with IFC 2015 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.		
9	Shall comply with IFC 2015 Section D103.5 Fire apparatus access road gates.		
10	Shall comply with Section D106 Multiple-Family Residential Developments.		
11	Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.		